

SECTION 4.55

PROPOSED SHOP TOP HOUSING DEVELOPMENT

SITE AREA

LOT 1
Site Area = 3,171.4 sq m
Floor Area = 7,250.826 sq m
F.S.R = 2.28:1

LOT 101
Site Area = 563.2 sq m
Floor Area = 1,470.33 sq m
F.S.R = 2.61:1

Common Open Space = 1,674.4 sq m (44.83%)
Landscape Area = 797.62 sq m (21.36%)

F.S.R CALCULATIONS

	Lot 1 Area = 3,171.4 sq.m	Lot 101 Area = 563.2 sq.m
Level 1	80.226 sq.m	
Level 2	1,207.0 sq.m	180.93 sq.m
Level 3	1,403.2 sq.m	225.11 sq.m
Level 4	1,403.2 sq.m	225.11 sq.m
Level 5	1,357.3 sq.m	225.11 sq.m
Level 6	942.9 sq.m	204.7 sq.m
Level 7	428.5 sq.m	204.7 sq.m
Level 8	428.5 sq.m	204.7 sq.m
Proposed GFA	7,250.826 sq.m	1,470.33 sq.m
Proposed FSR	2.28:1	2.61:1

RETAIL AREAS

Retail 1	51.65 sq.m
Retail 2	113.18 sq.m
Retail 3	232.25 sq.m
Retail 4	180.93 sq.m
Proposed GFA	578.01 sq.m

SPACE PROVISIONS

	Residents car spaces	Residents Adaptable car spaces	Visitors car spaces	Commercial Parking for Business/Retail Premises/Tenancies	TOTAL CAR SPACES	Storage spaces	Loading Bays	Bicycle Parking
Basement 1	72	13	0	0	83	43	0	20
Level 1	10	2	20	32	64	14	2	46
PROPOSED TOTAL.	97		20	32	149	57	2	66

SOLAR ACCESS & CROSS VENTILATION

Description	Total
Number of Units with living areas receiving 2 hours minimum solar access on 21st June	82 (85.4%)
Number of Units with 0 solar access	14 (14.5%)
Number of Units with cross ventilation	75 (78.1%)

UNIT BREAKDOWN

	1 Bed	2 Bed	2 Bed + Study	3 bed	TOTAL	Commercial
Level 1						1
Level 2	1	3		5	9	3
Level 3	1	16	1	1	19	
Level 4	1	16	1	1	19	
Level 5	3	16			19	
Level 6	2	12			14	
Level 7	2	6			8	
Level 8	2	6			8	
TOTAL	12	75	2	7	96	4
%	12.5%	80.0%	0.20%	7.30%		

Adaptable Units - 02, 03, 11, 15, 18, 22, 26, 29, 32, 33, 34, 37, 40, 43, 46,
TOTAL = 15 units

DRAWING LIST

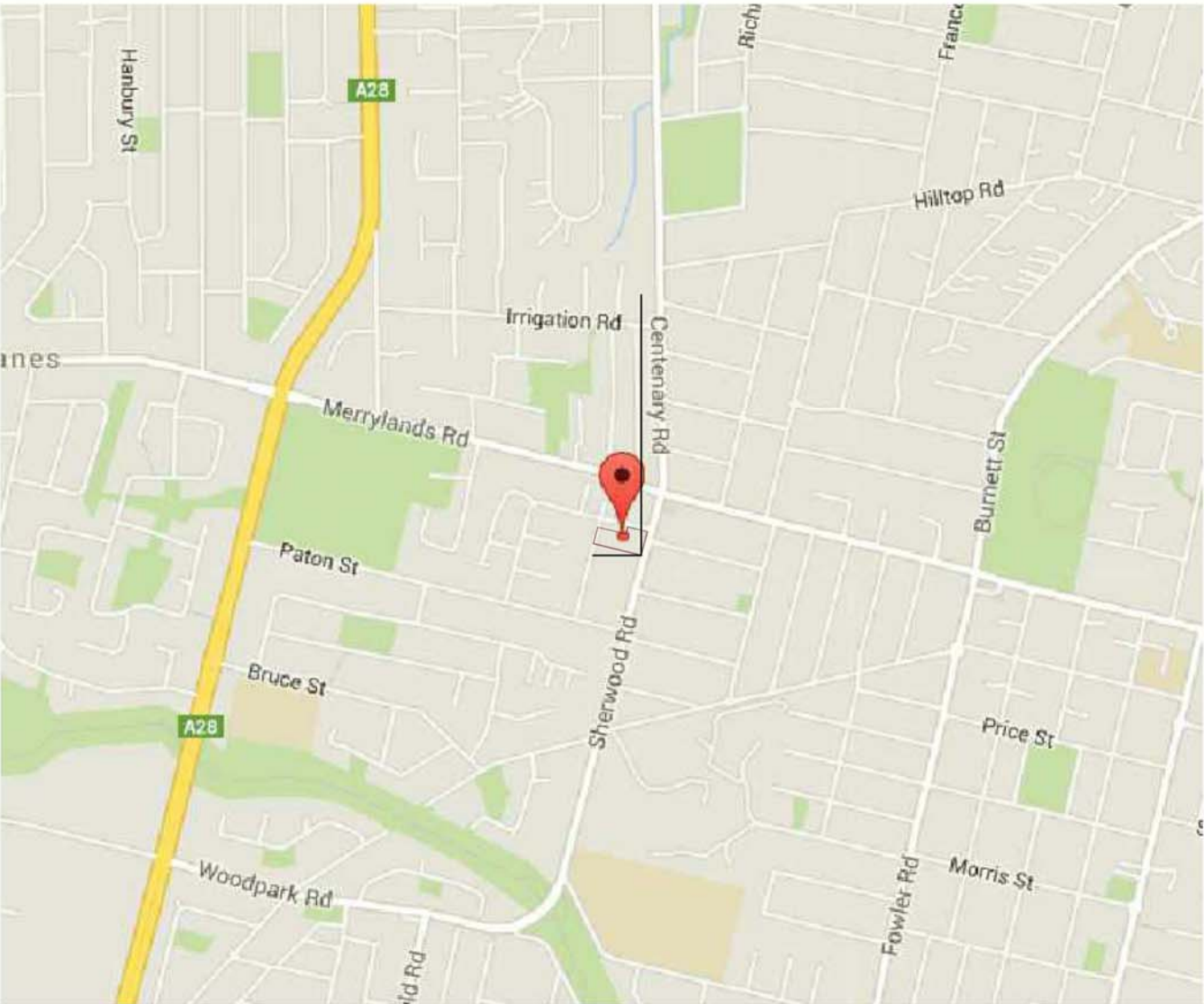
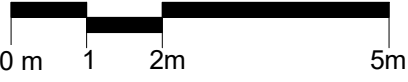
. 00	Site Analysis	
. 01	Basement Level 1	1:200
. 02	Level 1	1:200
. 03	Level 2	1:200
. 04	Level 3	1:200
. 05	Level 4	1:200
. 07	Level 6	1:200
. 08	Level 7 & 8	1:100
. 09	Roof Level	1:200
. 10	East Elevation Sherwood Road	1:100
. 11	West Elevation Coolibah Street	1:100
. 12	North - South Elevations	1:200
. 13	Site Elevations	1:100
. 13a	Site Elevations 2	1:100
. 13b	Building Height Details	
. 14	Site Sections	1:200
. 15	Units Layouts	1:50
. 16	Units Layouts	1:50
. 17	Units Layouts	1:50
. 18	Units layouts	1:50
. 19	Shadow Diagram 9 am - 21st June	1:250
. 20	Shadow diagram 12 noon - 21st June	1:250
. 21	Shadow Diagram 3 pm - 21st June	1:250
. 22	Prelim Model Images and Building Height Plane	Varies
. 23	Demolition Plan	1:200
. 24	Ramp Details	1:50
. 25	Waste Management Plan & Mailbox Details	Varies
. 26	FSR Calculation Diagrams	1:500
. 27	3D Shadow Diagrams - Coolibah Hotel	Varies
. 28	Solar Access - Level 2	1:200
. 29	Solar Access - Level 3	1:200
. 30	Solar Access - Level 4	1:200
. 31	Solar Access - Level 5	1:200
. 32	Solar Access - Level 6	1:200
. 33	Solar Access - Level 7	1:200
. 34	Solar Access - Level 8	1:200
. 35	Sections - Sewer Pipe Clearance	1:50
. 36	Section - Sewer Pipe/Shaft Detail	1:25
. 37	Massing 3D - Approved vs Proposed	
. 38	Common Open Space Calculation Diagrams	1:200
. 39	3D Building Height Plane	



9 Sherwood Road, Merrylands



SITE ANALYSIS
1:500



SITE MAP
not to scale

Issue	Issue description	Date
A	Development Application	03-05-16

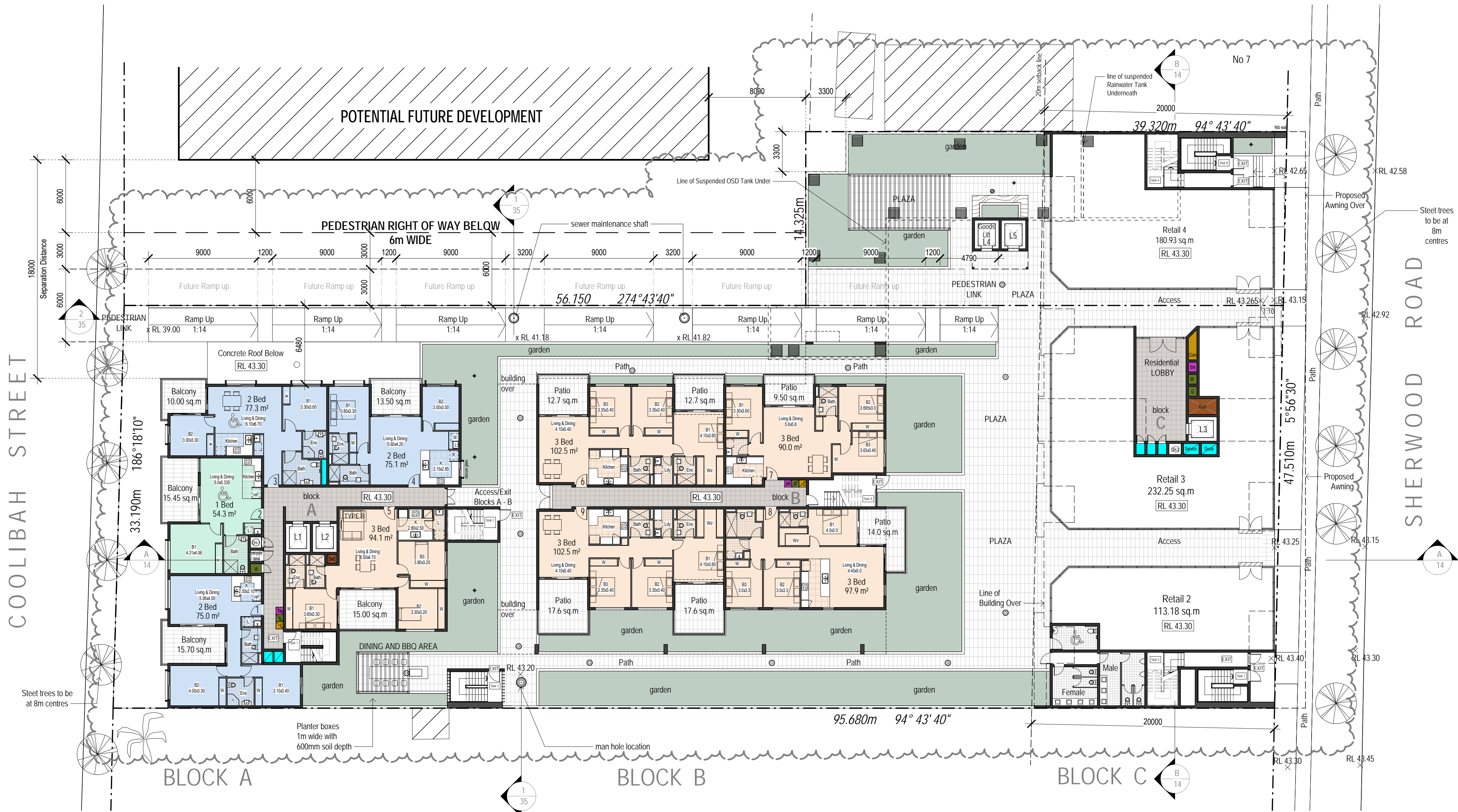


architex
Kyeeton Pty Ltd t/as Architex
abn 32 003 315 142
Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

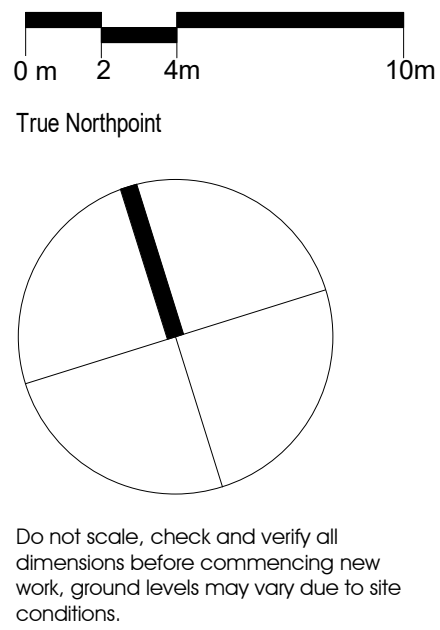
T : 9633 5888
M : 0418 402 919

SECTION 4.55

Project PROPOSED SHOP TOP HOUSING DEVELOPMENT		
Project Address 9 Sherwood Road, Merrylands		
Client .		
Title Site Analysis		
Drawn Author	Scale 1 : 500	Checked Checker
Job No 2220	Drawing No. .00	Issue A



1 Level 2
1:400 @A3



Note:
Storage areas to be provided with an alarm system.

Note:
Mailboxes to be provided with tubular key locks

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom

SERVICES LEGEND

- Services Duct
- Car Park / Kitchen Exhaust (penetration)
- Electrical Cupboard
- Communications Cupboard / Services
- Gas & Cold Water Cupboard / Services

Issue	Issue description	Date
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
BB	Amendments to address Traffic Comments	19.01.21
AA	Parking Allocation Amended - Loading Bays Relocated - Units 4, 13, 24 & 35 Amended - Building Height Levels & Details added - general amendments	13.01.21

architex
Ryeston pty ltd t/as Architex
abn 32 003 315 142
Level 3, 7K Parkes Street
Parramatta NSW 2150
Nominated Architect:

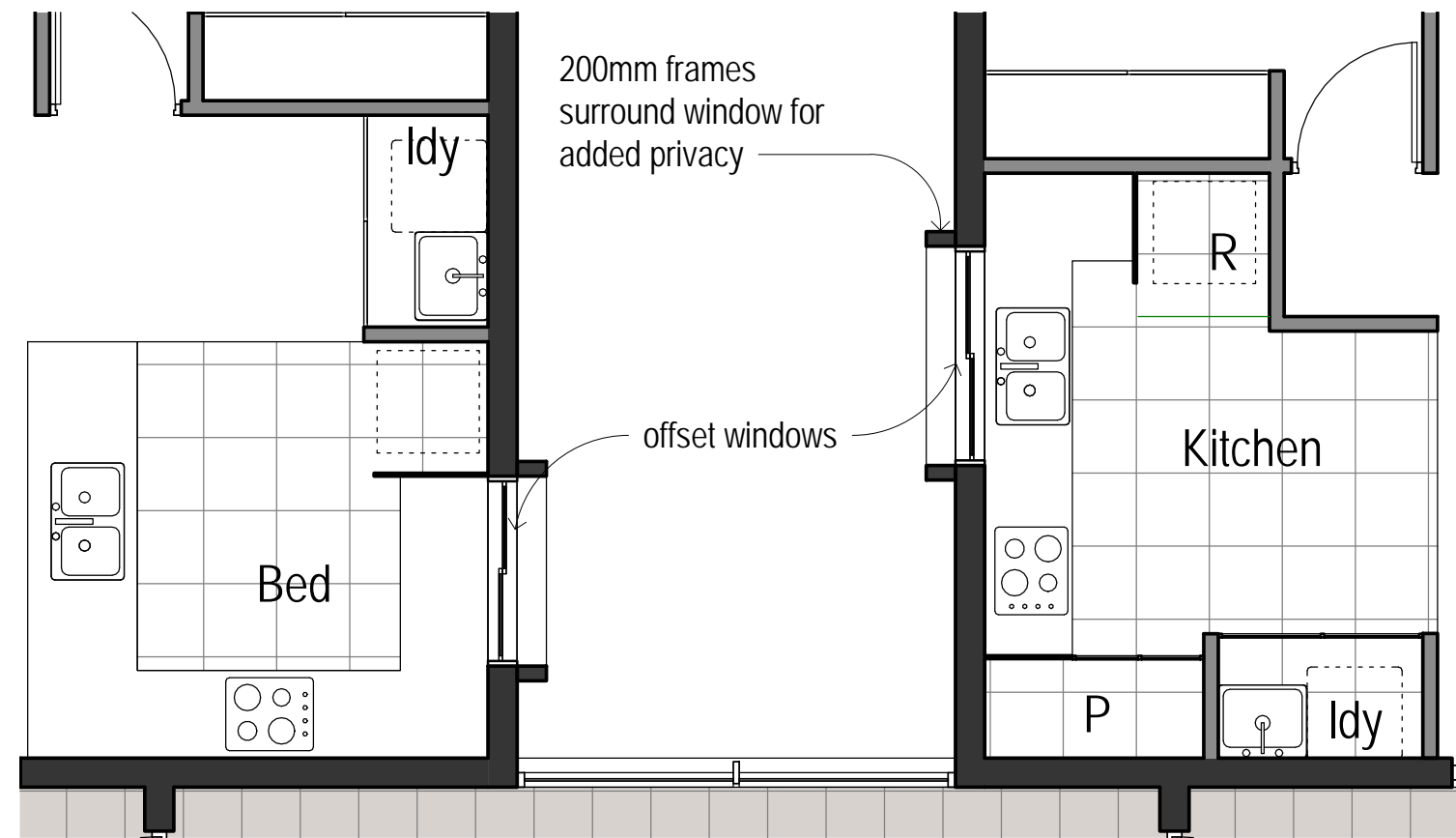
T: 02 9633 5888
M: 0418 402 919
email@architex.com.au
www.architex.com.au
Robert Del Pizzo
NSW Reg. No. 3972

AMENDMENTS

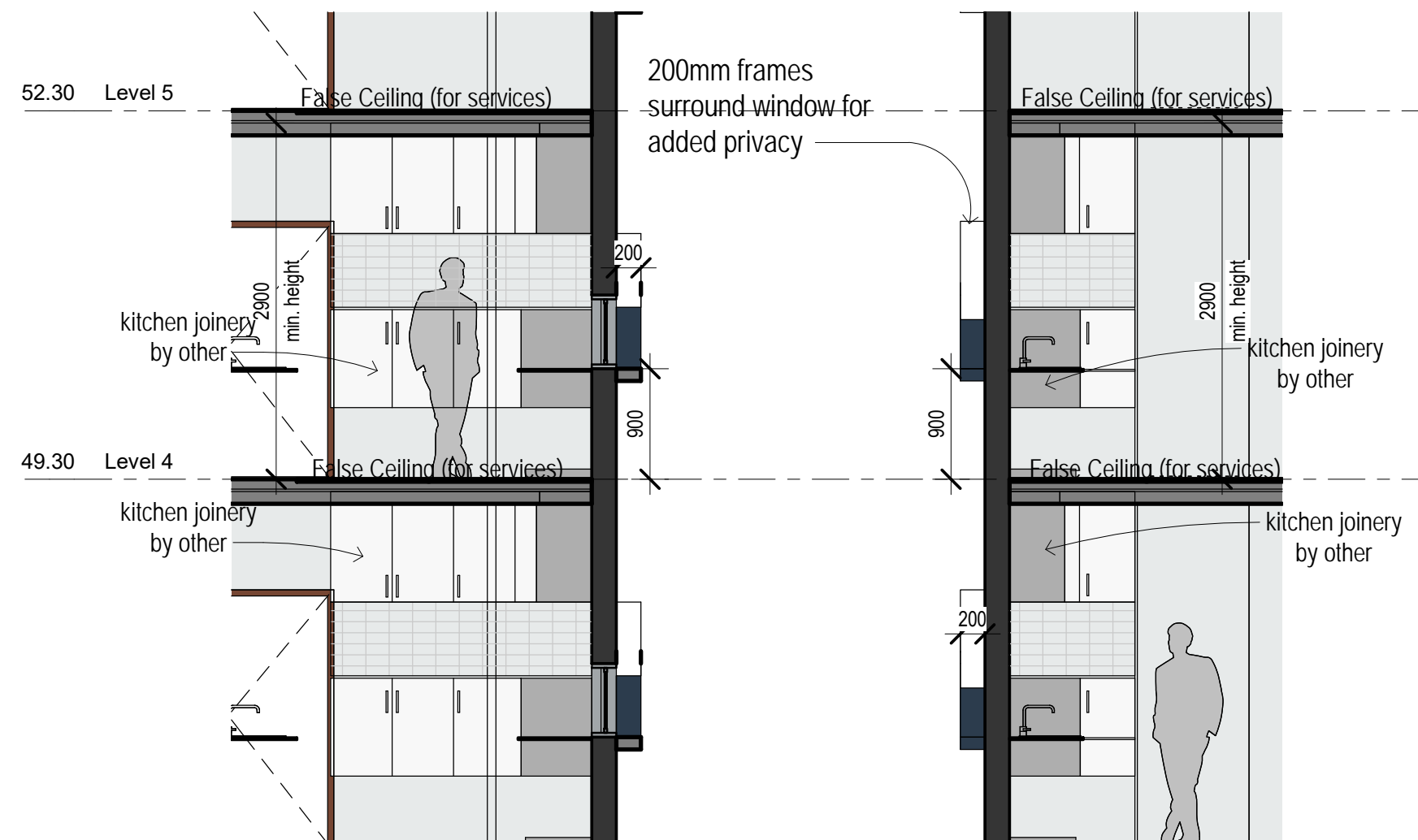
- Move Building A+B back to be in 6.0m setback
- Corner units in Block A+B amended.
- Privacy screen removed from bedrooms and balconies.
- Glass louvre windows added for improvements to cross ventilation to all Buildings.
- Windows added for improvements to cross ventilation in Block C.
- Blade walls reduced to improve Solar access.
- 6.0m setbacks shown on all plans.
- Substation Relocated
- Block B Units Amended
- Service Ducts Added
- Lifts 4 & 5 Amended
- Floor Levels Amended

SECTION 4.55

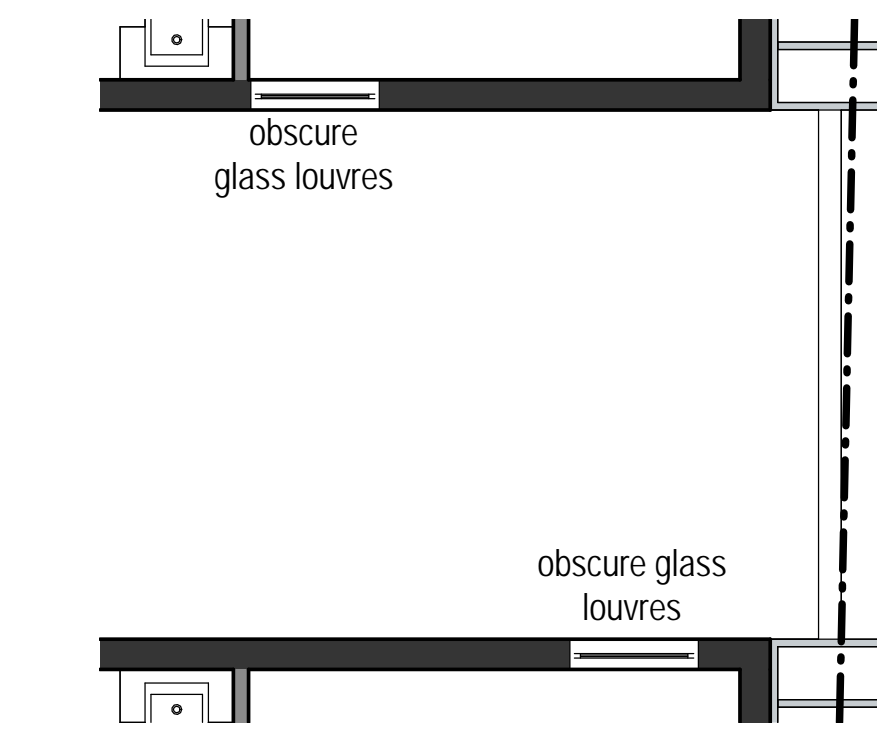
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Project Address 9 Sherwood Road, Merrylands		
Client .		
Title Level 2		
Drawn AS	Scale 1:400 @A3	Checked
Job No 2220	Drawing No. .03	Issue CC



③ Typical Kitchen Windows offset
1:50



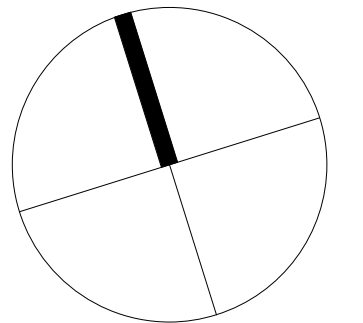
④ Typical section through Kitchens
1:50



② Typical Windows offset
1:50

0 m 2 4m 10m

True Northpoint



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom

SERVICES LEGEND

- Services Duct
- Car Park / Kitchen Exhaust (penetration)
- Electrical Cupboard
- Communications Cupboard / Services
- Gas & Cold Water Cupboard / Services

Issue	Issue description	Date
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
BB	Amendments to address Traffic Comments	19.01.21
AA	Parking Allocation Amended + Loading Bays relocated + Units 4, 13, 24 & 35 Amended + Building Height Levels & Details added + general amendments	13.01.21

architex
Riverton pty ltd t/as Architex
abn 32 003 315 142
Level 3, 7/K Parkes Street
Parramatta NSW 2150
Nominated Architect:

T: 02 9633 5888
M: 0418 402 919
email@architex.com.au
www.architex.com.au
Robert Del Pizzo
NSW Reg. No. 3972

Project
PROPOSED SHOP TOP HOUSING DEVELOPMENT
Project Address
9 Sherwood Road, Merrylands

Client
.

Title
Level 3

Drawn AS	Scale 1:400 @A3	Checked
Job No 2220	Drawing No. .04	Issue CC

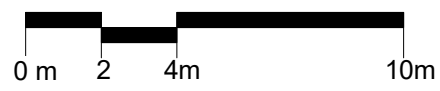
AMENDMENTS

- Move Building A+B back to be in 6.0m setback
- Corner units in Block A+B amended.
- Privacy screen removed from bedrooms and balconies.
- Glass louvre windows added for improvements to cross ventilation to all Buildings.
- Windows added for improvements to cross ventilation in Block C.
- Blade walls reduced to improve Solar access.
- 6.0m setbacks shown on all plans.
- Service Ducts Added
- Floor Levels Amended

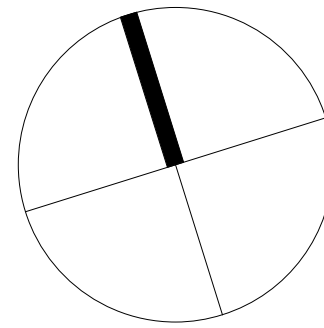
SECTION 4.55



① Level 3
1:400 @A3



True Northpoint



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom

SERVICES LEGEND

- Services Duct
- Car Park / Kitchen Exhaust (penetration)
- Electrical Cupboard
- Communications Cupboard / Services
- Gas & Cold Water Cupboard / Services

Issue	Issue description	Date
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
BB	Amendments to address Traffic Comments	19.01.21
AA	Parking Allocation Amended + Loading Bays relocated + Units 4, 13, 24 & 35 Amended + Building Height Levels & Details added + general amendments	13.01.21

architex

Ryeston pty ltd t/as Architex
abn 32 003 315 142

Level 3, 7K Parkes Street
Parramatta NSW 2150

Nominated Architect:

T: 02 9633 5888
M: 0418 402 919

email@architex.com.au
www.architex.com.au

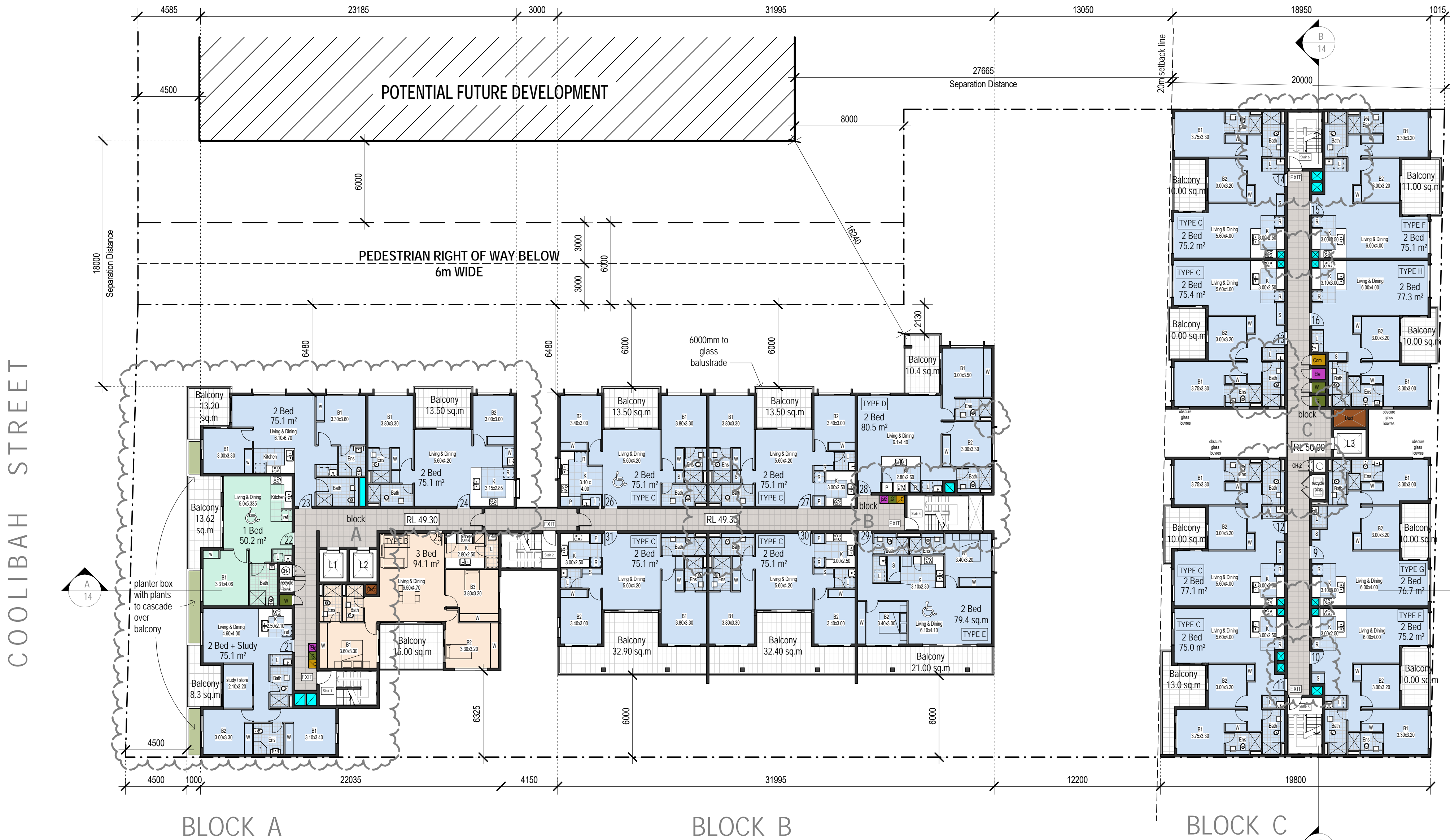
Robert Del Pizzo
NSW Reg. No. 3972

Project	PROPOSED SHOP TOP HOUSING DEVELOPMENT		
Project Address	9 Sherwood Road, Merrylands		
Client	.		
Title	Level 4		
Drawn	AS	Scale	1:400 @A3
Job No	2220	Drawing No.	.05
Checked		Issue	CC

AMENDMENTS

- Move Building A+B back to be in 6.0m setback
- Corner units in Block A+B amended.
- Privacy screen removed from bedrooms and balconies.
- Glass louvre windows added for improvements to cross ventilation in all Buildings.
- Windows added for improvements to cross ventilation in Block C.
- Blade walls reduced to improve Solar access.
- 6.0m setbacks shown on all plans.
- Service Ducts Added
- Floor Levels Amended

SECTION 4.55



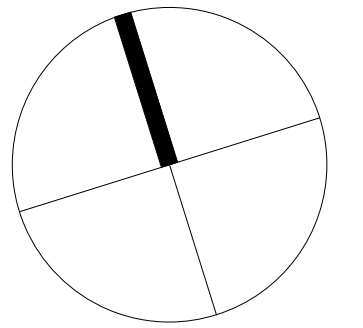
1 Level 4
1:400 @A3

COOLIBAH STREET

SHERWOOD ROAD



True Northpoint



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom

SERVICES LEGEND

- Services Duct
- Car Park / Kitchen Exhaust (penetration)
- Electrical Cupboard
- Communications Cupboard / Services
- Gas & Cold Water Cupboard / Services

Issue	Issue description	Date
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
BB	Amendments to address Traffic Comments	19.01.21
AA	Parking Allocation Amended - Loading Bays relocated - Units 4, 13, 24 & 35 Amended - Building Height Levels & Details added - general amendments	13.01.21

architex

Ryeston pty ltd t/as Architex
abn 32 003 315 142

Level 3, 7K Parkes Street
Parramatta NSW 2150

Nominated Architect:

T: 02 9633 5888
M: 0418 402 919

email@architex.com.au
www.architex.com.au

Robert Del Pizzo
NSW Reg. No. 3972

① Level 5
1:400 @A3

AMENDMENTS

- Move Building A+B back to be in 6.0m setback
- Corner units in Block A+B amended.
- Privacy screen removed from bedrooms and balconies.
- Glass louvre windows added for improvements to cross ventilation to all Buildings.
- Windows added for improvements to cross ventilation in Block C.
- Blade walls reduced to improve Solar access.
- 6.0m setbacks shown on all plans.
- Service Ducts Added
- Floor Levels Amended

SECTION 4.55

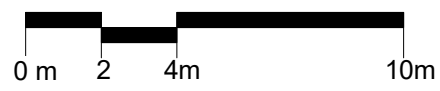
Project
PROPOSED SHOP TOP HOUSING DEVELOPMENT

Project Address
9 Sherwood Road, Merrylands

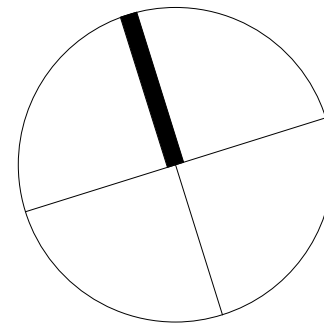
Client

Title
Level 5

Drawn AS	Scale 1:400 @A3	Checked
Job No 2220	Drawing No. 06	Issue CC



True Northpoint



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom

SERVICES LEGEND

- Services Duct
- Car Park / Kitchen Exhaust (penetration)
- Electrical Cupboard
- Communications Cupboard / Services
- Gas & Cold Water Cupboard / Services

Issue	Issue description	Date
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
BB	Amendments to address Traffic Comments	19.01.21
AA	Parking Allocation Amended + Loading Bays relocated + Units 4, 13, 24 & 35 Amended + Building Height Levels & Details added + general amendments	13.01.21

architex

Ryeston pty ltd t/as Architex
abn 32 003 315 142
Level 3, 7K Parkes Street
Parramatta NSW 2150
Nominated Architect:

T: 02 9633 5888
M: 0418 402 919
email@architex.com.au
www.architex.com.au
Robert Del Pizzo
NSW Reg. No. 3972

Project
PROPOSED SHOP TOP HOUSING DEVELOPMENT

Project Address
9 Sherwood Road, Merrylands

Client

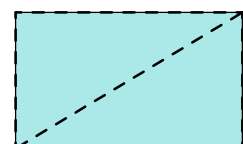
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Level 6

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Job No 2220	Drawing No. .07	Issue CC

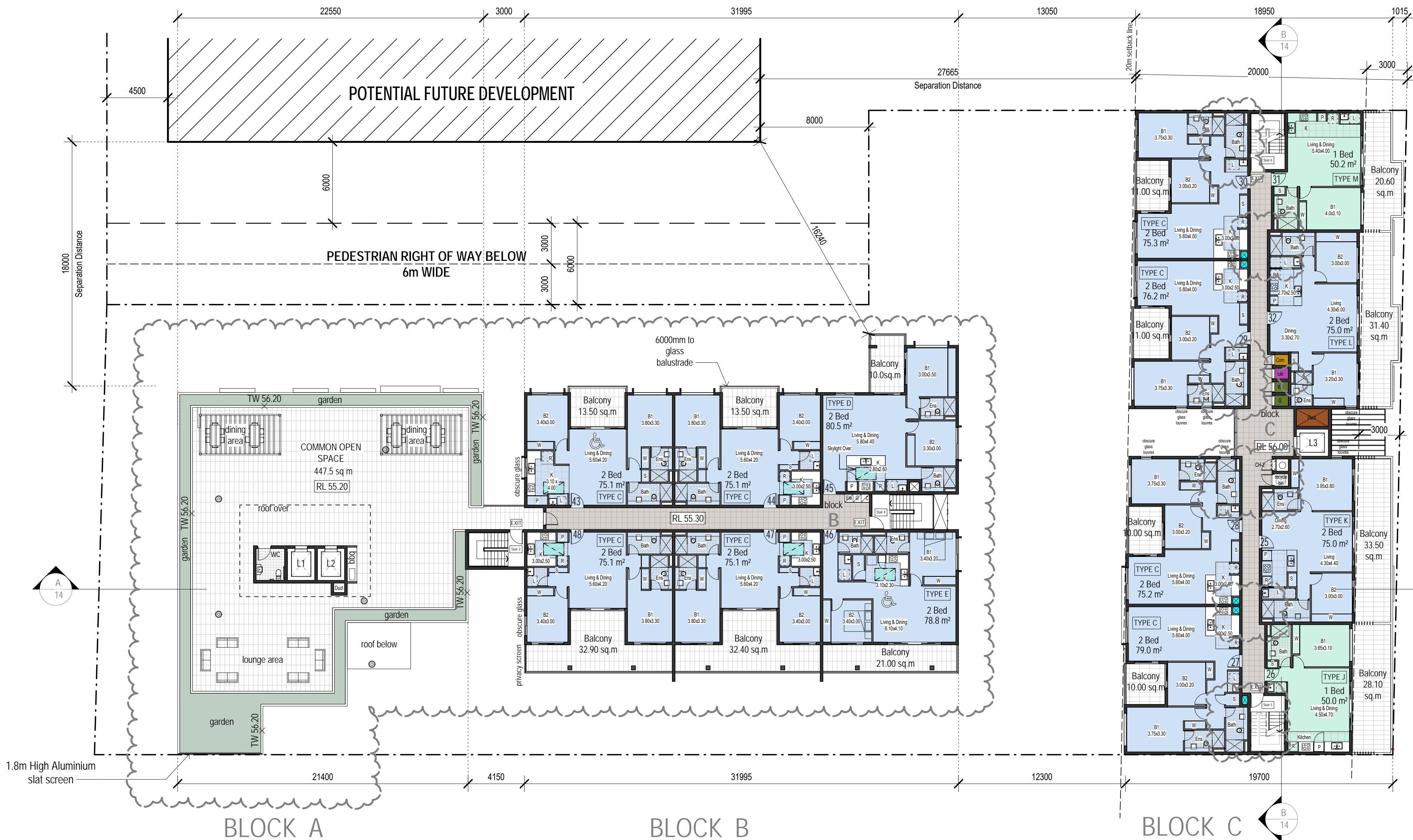
SECTION 4.55

AMENDMENTS

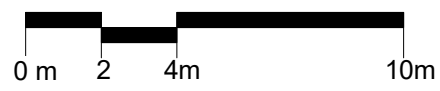
- Move Building A+B back to be in 6.0m setback
- Corner units in Block A+B amended.
- Privacy screen removed from bedrooms and balconies.
- Glass louvre windows added for improvements to cross ventilation to all Buildings.
- Windows added for improvements to cross ventilation in Block C.
- Blade walls reduced to improve Solar access.
- 6.0m setbacks shown on all plans.
- Units Added To Block B Level 6.
- Common Open space added to Block A Roof
- Service Ducts Added
- Floor Levels Amended



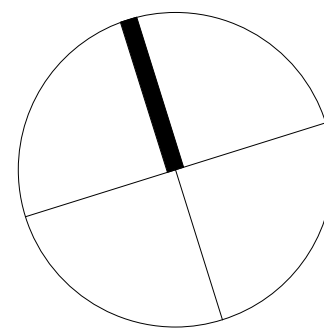
Skylight Over - 900 x 1500



① Level 6
1:400 @A3



True Northpoint



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom

SERVICES LEGEND

- Services Duct
- Car Park / Kitchen Exhaust (penetration)
- Electrical Cupboard
- Communications Cupboard / Services
- Gas & Cold Water Cupboard / Services

Issue	Issue description	Date
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
BB	Amendments to address Traffic Comments	19.01.21
AA	Parking Allocation Amended + Loading Bays relocated + Units 4, 13, 24 & 35 Amended + Building Height Levels & Details added + general amendments	13.01.21

architex

Ryeston pty ltd t/as Architex
abn 32 003 315 142

Level 3, 7K Parkes Street
Parramatta NSW 2150

Nominated Architect:

T: 02 9633 5888
M: 0418 402 919

email@architex.com.au
www.architex.com.au

Robert Del Pizzo
NSW Reg. No. 3972

Project
PROPOSED SHOP TOP HOUSING
DEVELOPMENT

Project Address
9 Sherwood Road, Merrylands

Client

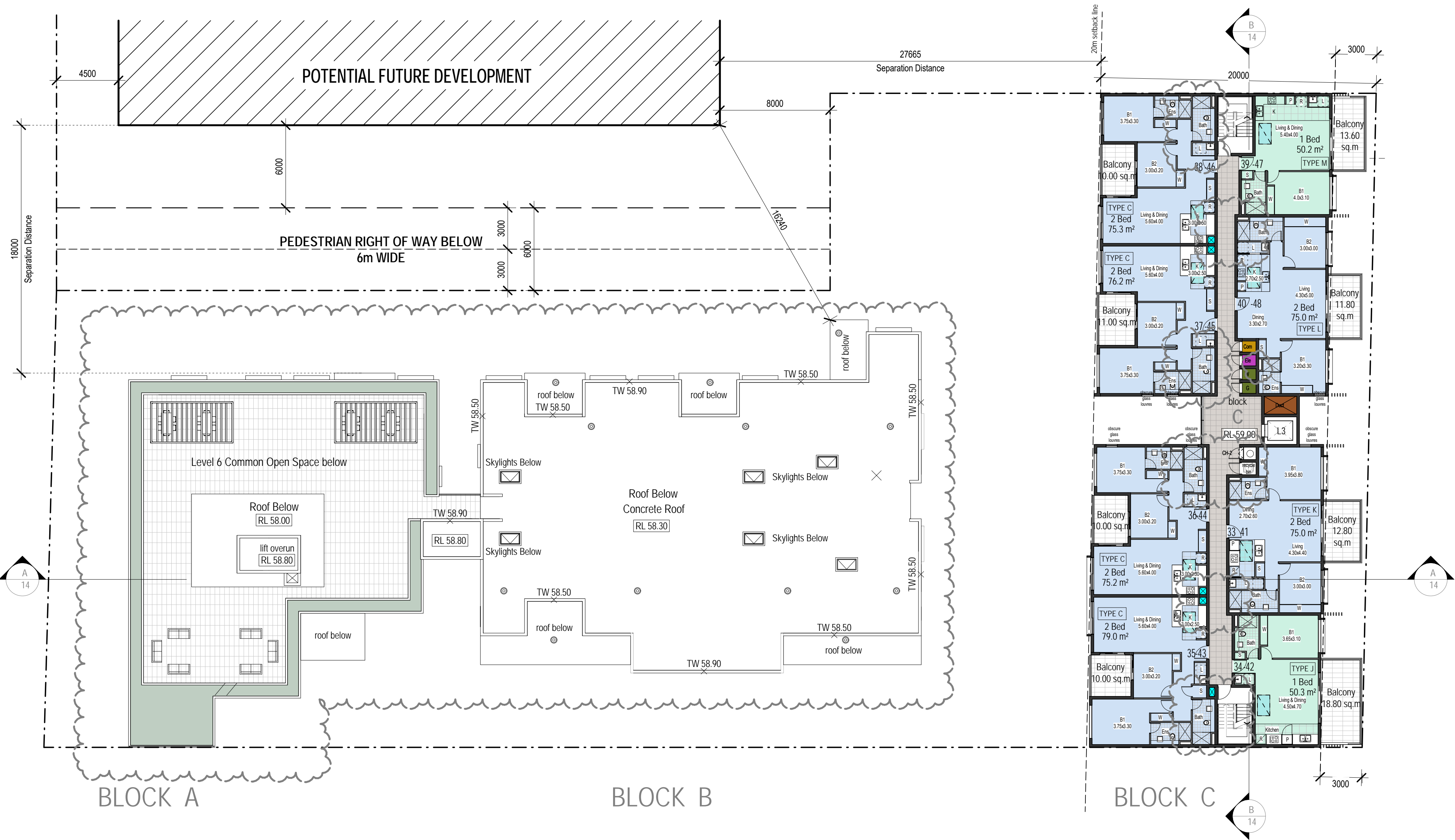
Title
Level 7 & 8

Drawn AS	Scale 1:400 @A3	Checked
Job No 2220	Drawing No. .08	Issue CC

SECTION 4.55

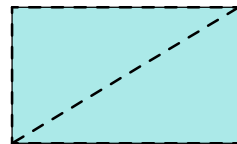
COOLIBAH STREET

SHERWOOD ROAD



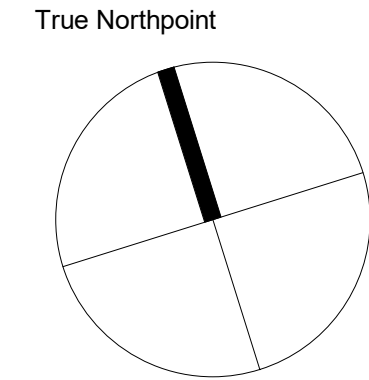
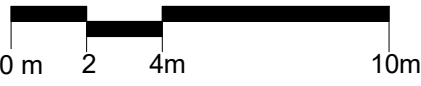
AMENDMENTS

- Move Building A+B back to be in 6.0m setback
- Corner units in Block A+B amended.
- Privacy screen removed from bedrooms and balconies.
- Glass louvre windows added for improvements to cross ventilation to all Buildings.
- Windows added for improvements to cross ventilation in Block C.
- Blade walls reduced to improve Solar access.
- 6.0m setbacks shown on all plans.
- Common Open space added to Block A Roof
- Service Ducts Added
- Floor Levels Amended



Skylight Over - 900 x 1500 (Level 8 Only)

1 LEVELS 7 & 8 (Block C)
1:400 @A3



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

AMENDMENTS

- Move Building A+B back to be in 6.0m setback
- Corner units in Block A+B amended.
- Privacy screen removed from bedrooms and balconies.
- Glass louvre windows added for improvements to cross ventilation to all Buildings.
- Windows added for improvements to cross ventilation in Block C.
- Blade walls reduced to improve Solar access.
- 6.0m setbacks shown on all plans.
- Floor Levels Amended

Issue	Issue description	Date
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
BB	Amendments to address Traffic Comments	19.01.21
AA	Parking Allocation Amended + Loading Bays relocated + Units 4,13,24 & 35 Amended + Building Height Levels & Details added + general amendments	13.01.21

architex

kyteton pry inc t/as architex
abn 32 003 315 142

Level 3, 7K Parkes Street
Paramatta NSW 2150

email@architex.com.au
www.architex.com.au

T : 9633 5888
M : 0418 402 919

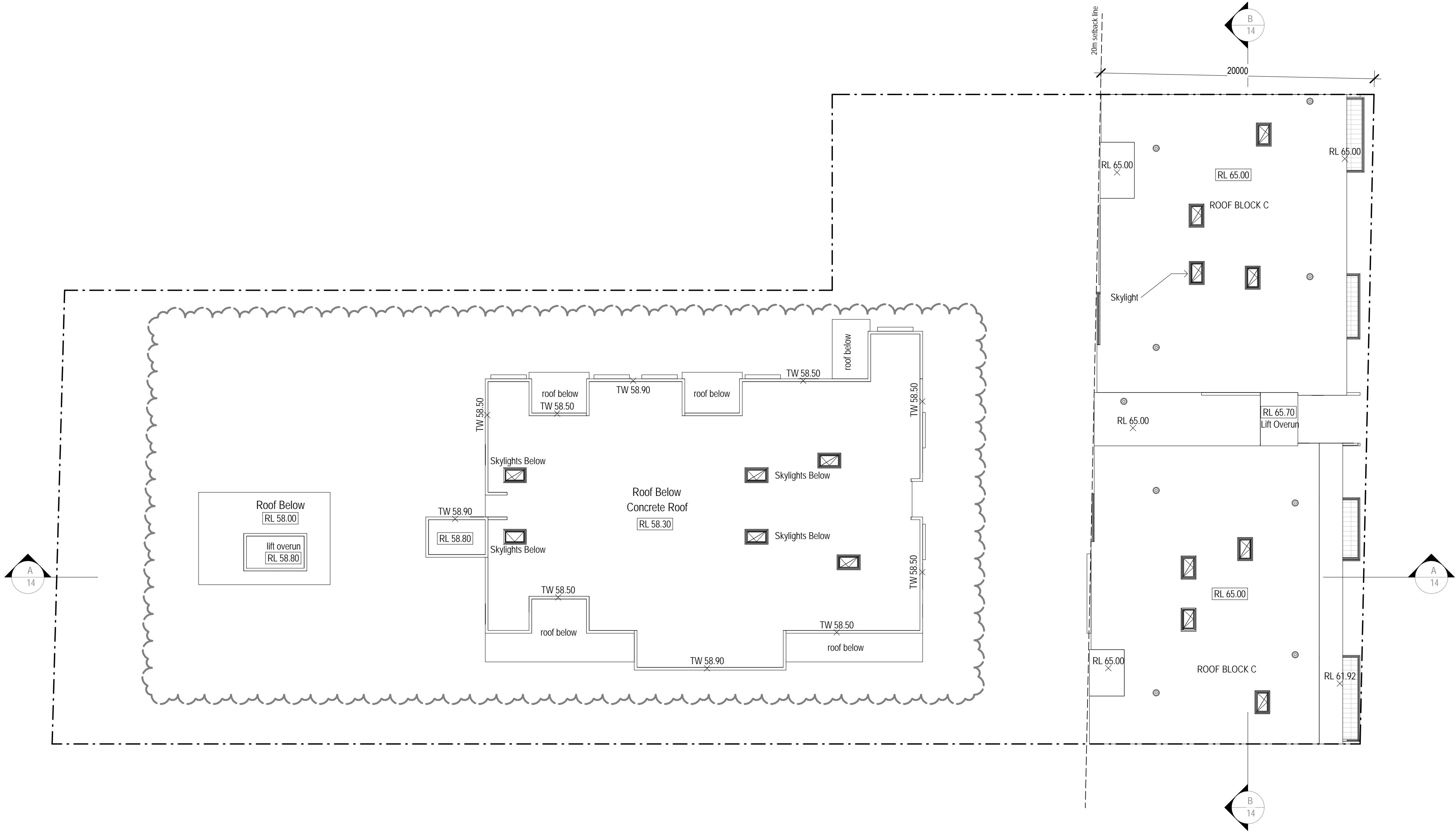
Project
PROPOSED SHOP TOP HOUSING DEVELOPMENT

Project Address
9 Sherwood Road, Merrylands

Client
.

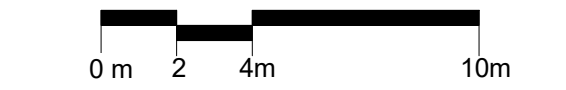
Title
Roof Level

Drawn AS	Scale 1:400 @A3	Checked
Job No 2220	Drawing No. .09	Issue CC



① **Roof Level (Block C)**
1:400 @A3

SECTION 4.55



BLOCK C



AMENDMENTS

- Move Building A+B back to be in 6.0m setback
- Corner units in Block A+B amended.
- Privacy screen removed from bedrooms and balconies.
- Glass louvre windows added for improvements to cross ventilation to all Buildings.
- Windows added for improvements to cross ventilation in Block C.
- Blade walls reduced to improve Solar access.
- 6.0m setbacks shown on all plans.
- Floor Levels Amended

Issue	Issue description	Date
E	Parking + Balcony amendments	21-12-16
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
C	C.O.S added on Block B roof	12.02.21
BB	Amendments to address Traffic Comments	19.01.21
AA	Parking Allocation Amended + Loading Bays Relocated - Units 4, 13, 24 & 35 Amended - Building Height Levels & Details added - general amendments	13.01.21



architex

kyeton pry ita t/as Architex
abr 32 003 315 142

Level 3, 7K Parkes Street
Parramatta NSW 2150

T : 9633 5888
M : 0418 402 919

email@architex.com.au
www.architex.com.au

Project
PROPOSED SHOP TOP HOUSING
DEVELOPMENT

Project Address	9 Sherwood Road, Merrylands
-----------------	-----------------------------




Client	

Title

East Elevation
Sherwood Road

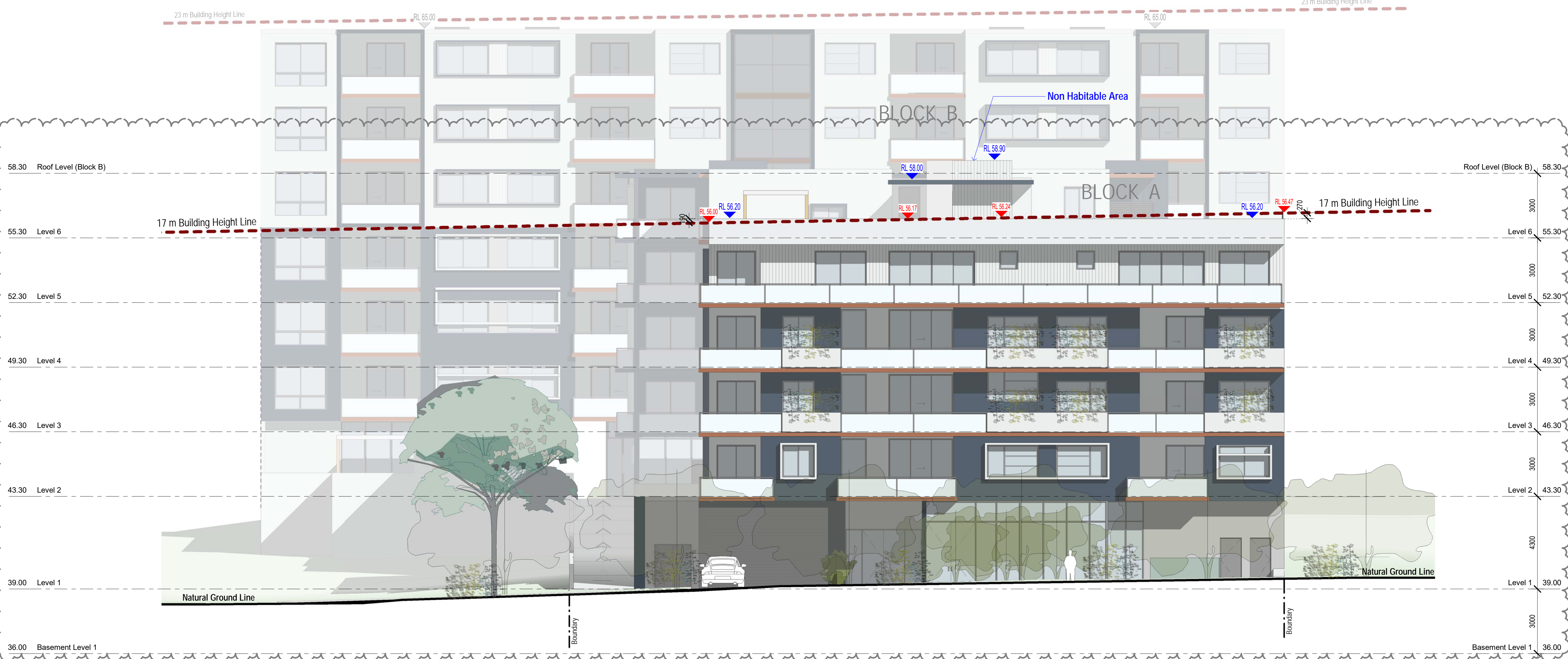
SECTION 4.55

Building Height Legend

 RL#	Building Height - Habitable Area
 RL#	Building Height - Non Habitable Area
 RL#	Building Height Plane/Line

1 East Elevation - Sherwood Rd

BLOCK C



- AMENDMENTS**
- Move Building A+B back to be in 6.0m setback
 - Corner units in Block A+B amended.
 - Privacy screen removed from bedrooms and balconies.
 - Glass louvre windows added for improvements to cross ventilation to all Buildings.
 - Windows added for improvements to cross ventilation in Block C.
 - Blade walls reduced to improve Solar access.
 - 6.0m setbacks shown on all plans.
 - Building Heights & Notes added
 - Floor Levels Amended

Issue	Issue description	Date
Y	Traffic Amendments, Elevations Added, Shadow + COS Calculation + Solar Access & Cross Ventilation Diagrams added	27.10.20
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
BB	Amendments to address Traffic Comments	19.01.21
AA	Parking Allocation Amended + Loading Bays relocated + Units 4,13,24 & 25 Amended + Building Height Levels & Details added + general amendments	13.01.21

architex
Kylerton Pty Ltd t/as Architex
abn 32 003 315 142
Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

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M : 0418 402 919

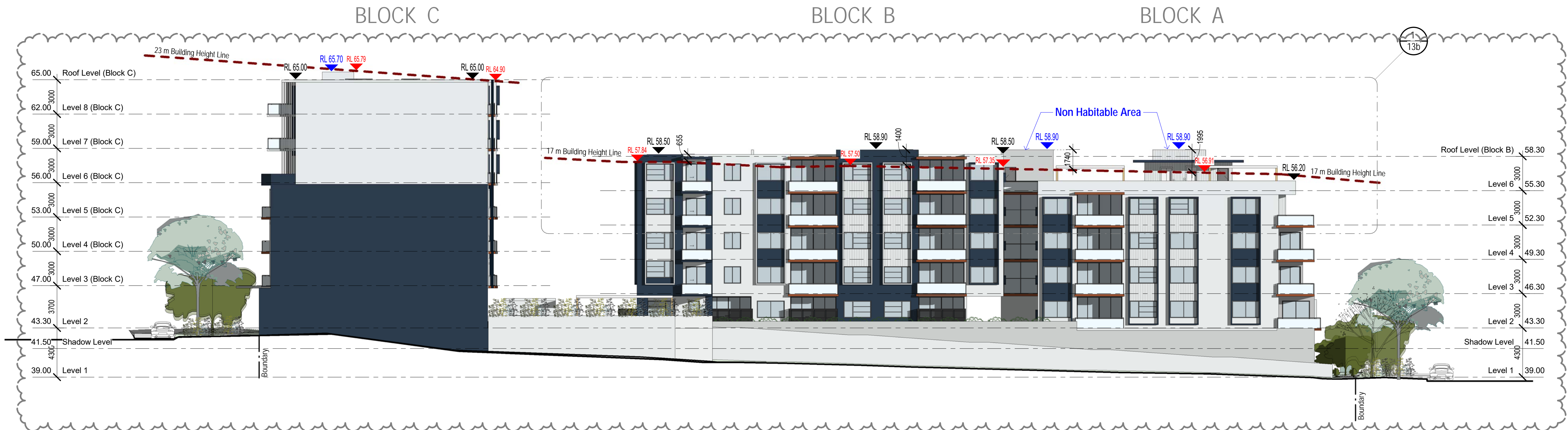
Project	PROPOSED SHOP TOP HOUSING DEVELOPMENT	
Project Address	9 Sherwood Road, Merrylands	
Client	.	
Title	West Elevation Coolibah Street	
Drawn	Scale	Checked
AS	1:200 @A3	
Job No	Drawing No.	Issue
2220	.11	CC

Building Height Legend

- Building Height - Habitable Area
- Building Height - Non Habitable Area
- Building Height Plane/Line

SECTION 4.55

③ West Elevation - Coolibah St
1:200 @A3



1 North Elevation
1:400 @A3

AMENDMENTS

- Move Building A+B back to be in 6.0m setback
- Corner units in Block A+B amended.
- Privacy screen removed from bedrooms and balconies.
- Glass louvre windows added for improvements to cross ventilation to all Buildings.
- Windows added for improvements to cross ventilation in Block C.
- Blade walls reduced to improve Solar access.
- 6.0m setbacks shown on all plans.
- Building Heights & Notes added
- Floor Levels Amended

Building Height Legend

- RL # Building Height - Habitable Area
- RL # Building Height - Non Habitable Area
- RL # Building Height Plane/Line

BLOCK A BLOCK B BLOCK C



2 South Elevation
1:400 @A3

Issue	Issue description	Date
E	Parking - Balcony amendments	21-12-16
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
BB	Amendments to address Traffic Comments	19.01.21
AA	Parking Allocation Amended - Loading Bays relocated - Units 4,13,24 & 35 Amended - Building Height Levels & Details added - general amendments	13.01.21
A	Development Application	03-05-16

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Kyeirton Pty Ltd t/as Architex
abn 32 003 315 142
Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

T : 9633 5888
M : 0418 402 919

Project
PROPOSED SHOP TOP HOUSING
DEVELOPMENT

Project Address
9 Sherwood Road, Merrylands

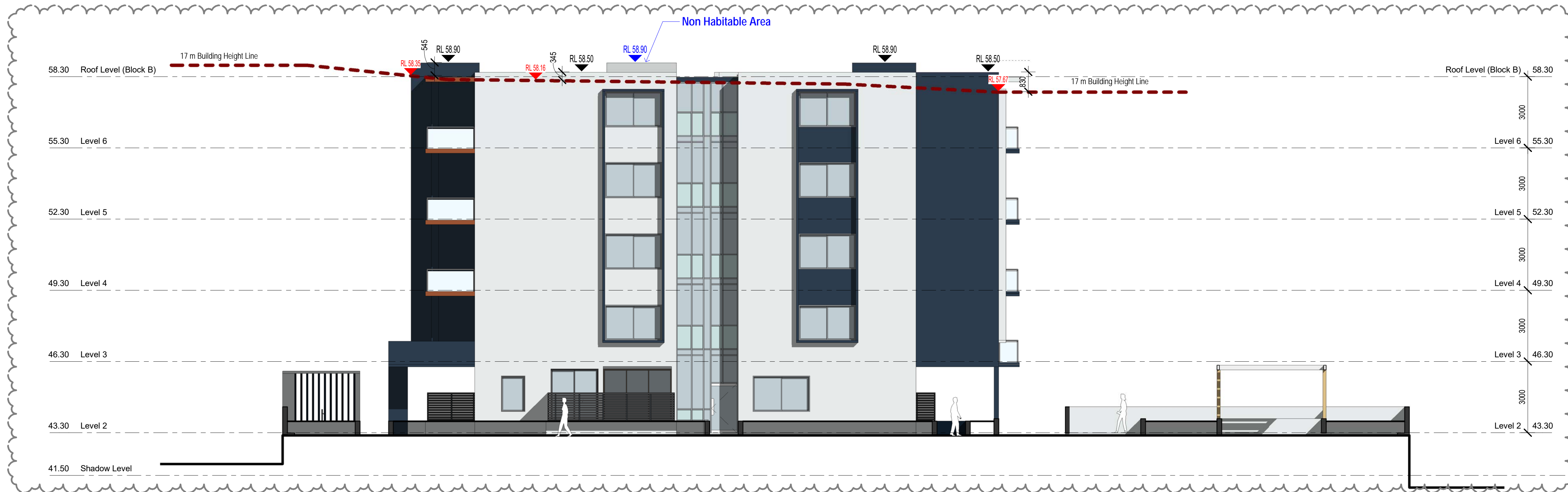
Client
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Title
North - South
Elevations

Drawn AS	Scale 1:400 @A3	Checked Checker
Job No 2220	Drawing No. .12	Issue CC

SECTION 4.55

BLOCK B



⑥ East Elevation - Block B
1:200 @A3

Building Height Legend

RL #	Building Height - Habitable Area
RL #	Building Height - Non Habitable Area
RL #	Building Height Plane/Line

AMENDMENTS

- Move Building A+B back to be in 6.0m setback
- Corner units in Block A+B amended.
- Privacy screen removed from bedrooms and balconies.
- Glass louvre windows added for improvements to cross ventilation to all Buildings.
- Windows added for improvements to cross ventilation in Block C.
- Blade walls reduced to improve Solar access.
- 6.0m setbacks shown on all plans.
- Building Heights & Notes added
- Floor Levels Amended

BLOCK C



⑧ West Elevation - Block C
1:200 @A3

Issue	Issue description	Date
E	Parking + Balcony amendments	21-12-16
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16-02-21
BB	Amendments to address Traffic Comments	19-01-21
AA	Parking Allocation Amended + Loading Bays relocated + Units 4,13,24 & 35 Amended + Building Height Levels & Details added + general amendments	13-01-21
A	Development Application	03-05-16

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Kyelem Pty Ltd t/as Architex
abn 32 003 315 142
Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

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M : 0418 402 919

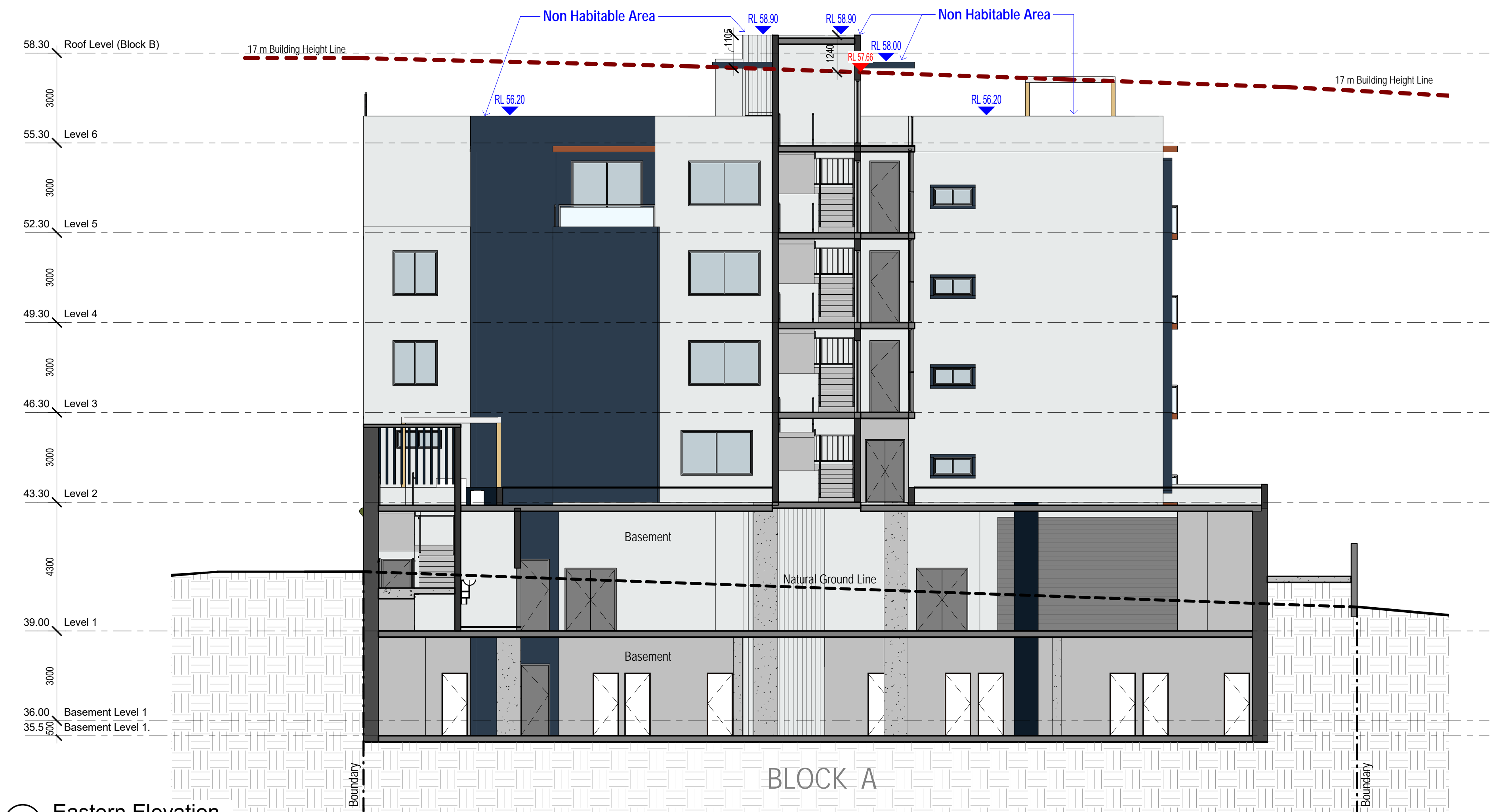
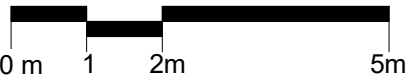
Project
PROPOSED SHOP TOP HOUSING DEVELOPMENT

Project Address
9 Sherwood Road, Merrylands

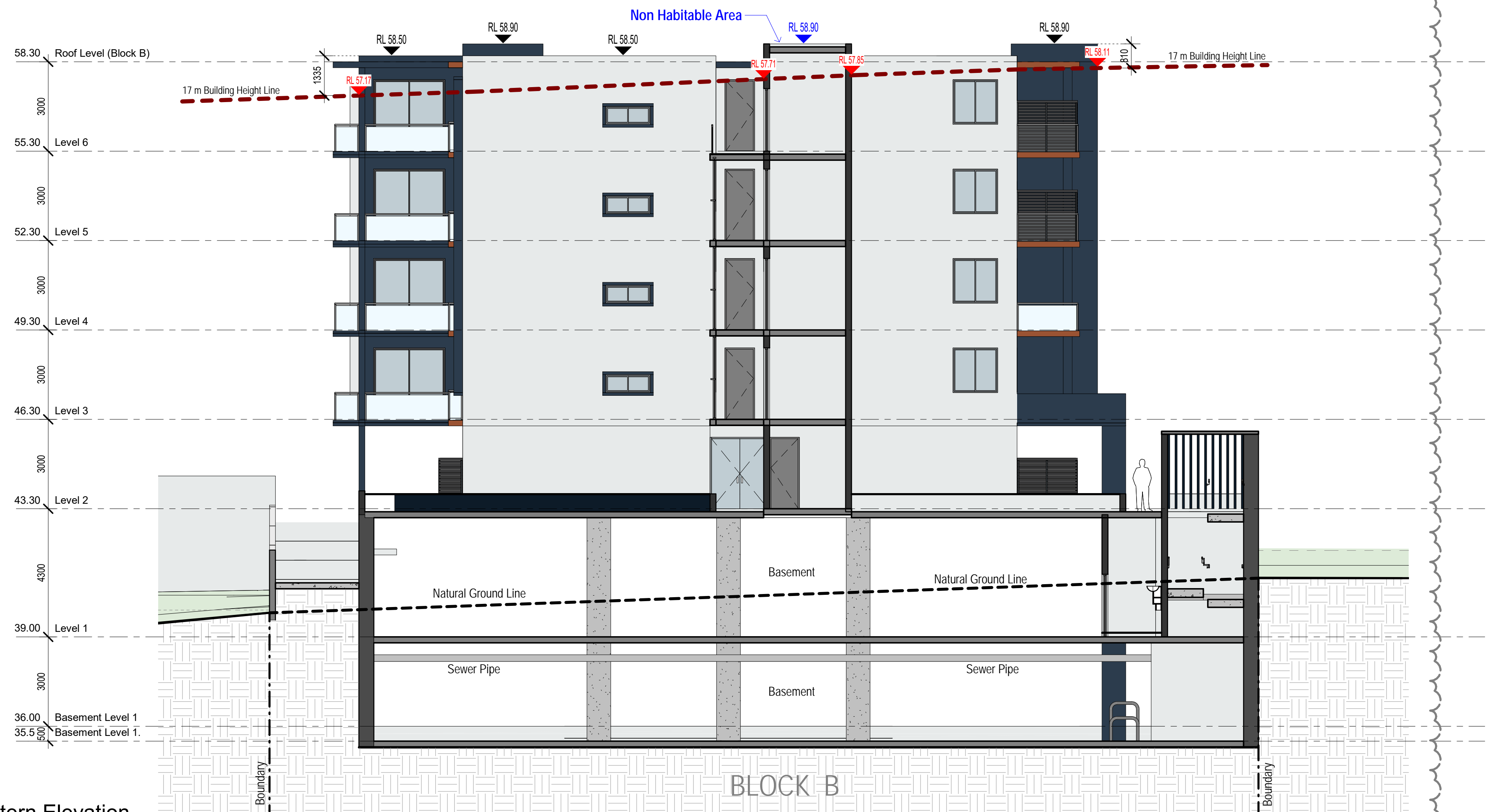
Client
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Title
Site Elevations

Drawn AS	Scale 1:200 @A3	Checked
Job No 2220	Drawing No. .13	Issue CC



2 Eastern Elevation - Block A
1:200 @A3



1 Western Elevation - Block B
1:200 @A3

Building Height Legend

RL #	Building Height - Habitable Area
DL #	Building Height - Non Habitable Area
RL #	Building Height Plane/Line

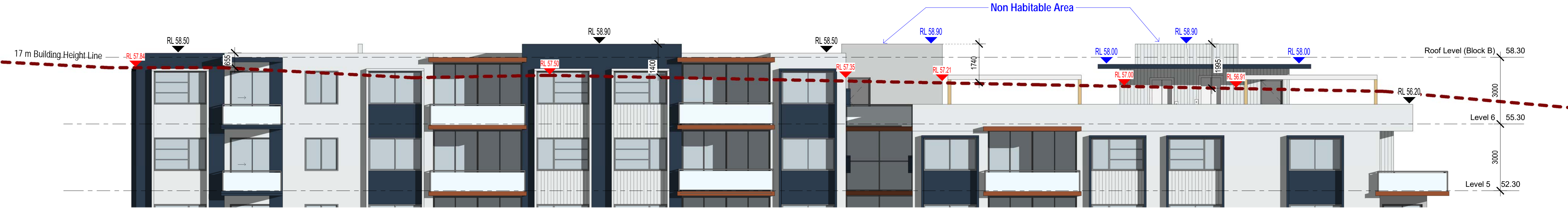
Issue	Issue description	Date
Y	Traffic Amendments, Elevations Added, Shadow + COS Calculation + Solar Access & Cross Ventilation Diagrams added	27.10.20
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
AA	Parking Allocation Amended + Loading Bays relocated + Units 4, 13, 24 & 35 Amended + Building Height Levels & Details added + general amendments	13.01.21

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Kyeeton Pty Ltd t/as Architex
abn 32 003 315 142
Level 3, 7K Parkes Street
Paramatta NSW 2150
email@architex.com.au
www.architex.com.au

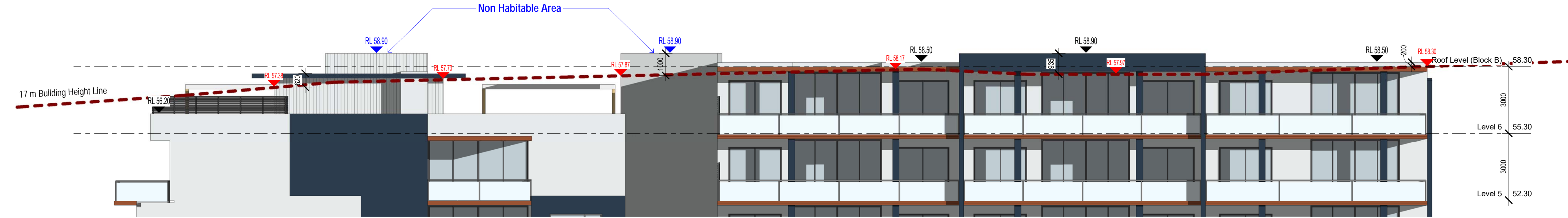
T : 9633 5888
M : 0418 402 919

SECTION 4.55

Project		
PROPOSED SHOP TOP HOUSING DEVELOPMENT		
Project Address		
9 Sherwood Road, Merrylands		
Client		
.		
Title		
Site Elevations 2		
Drawn	Scale	Checked
AS	1:200 @A3	Checker
Job No	Drawing No.	Issue
2220	13a	CC



① Block B North Elevation - Building Height
1:200 @A3



② Block B South Elevation - Building Height
1:200 @A3



③ Block B Section - Building Height
1:200 @A3

Building Height Legend

- Building Height - Habitable Area
- Building Height - Non Habitable Area
- Building Height Plane/Line

Issue	Issue description	Date
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
AA	Parking Allocation Amended - Loading Bays relocated - Units 4,13,24 & 35 Amended - Building Height Levels & Details added - general amendments	13.01.21

65.00 Roof Level

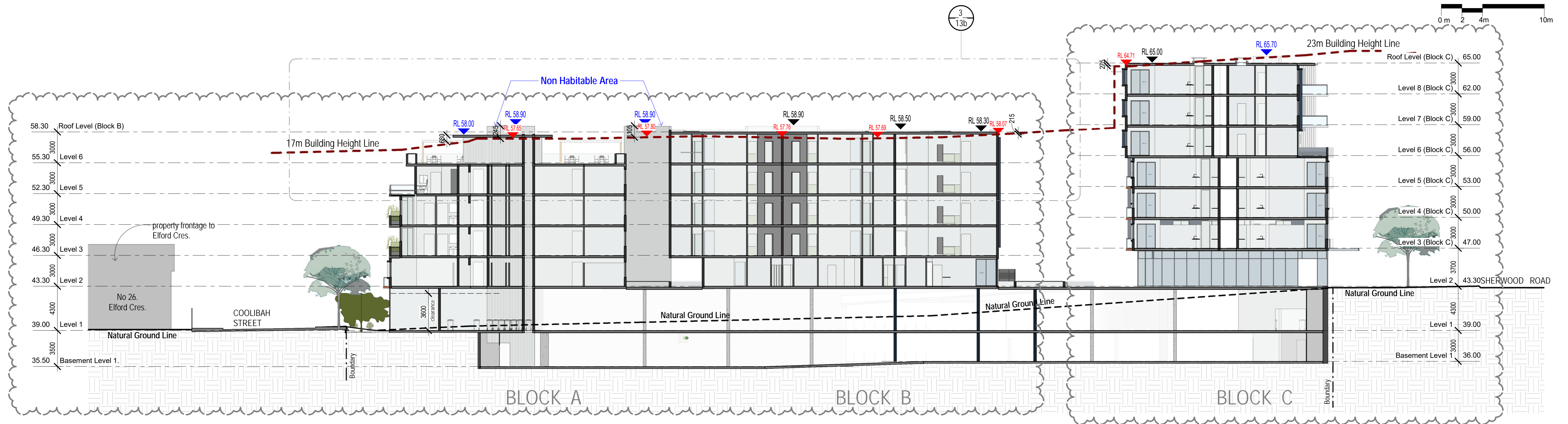


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Parramatta NSW 2150
email@architex.com.au
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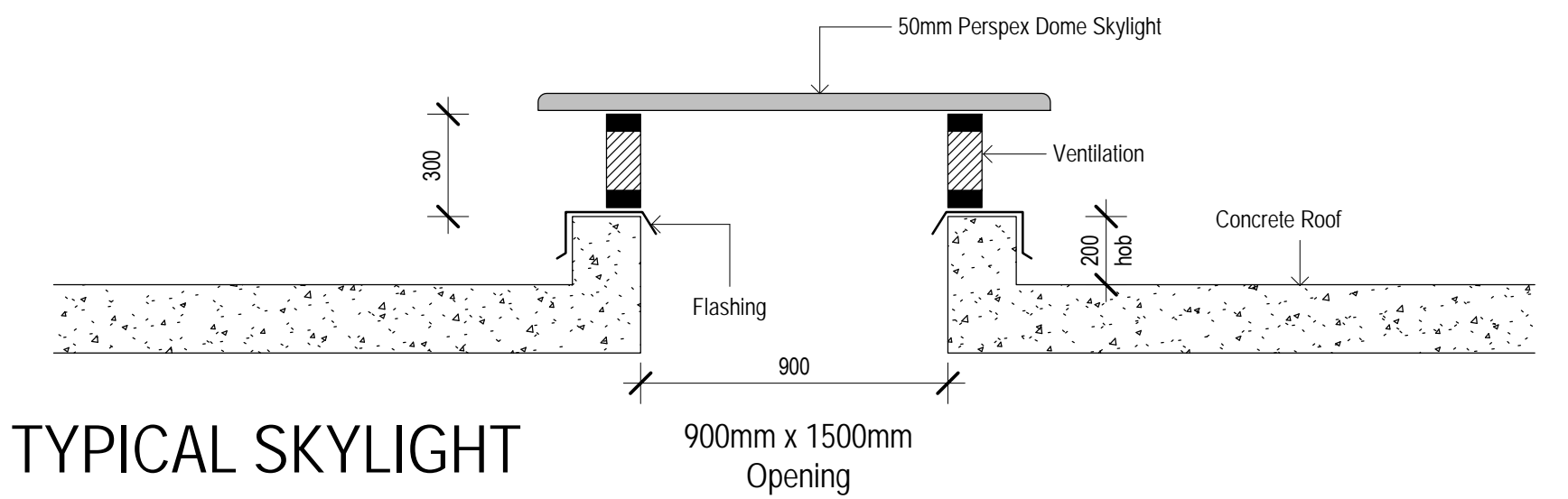
T : 9633 5888
M : 0418 402 919

SECTION 4.55

Project PROPOSED SHOP TOP HOUSING DEVELOPMENT		
Project Address 9 Sherwood Road, Merrylands		
Client .		
Title Building Height Details		
Drawn AS	Scale 1:200 @A3	Checked Checker
Job No 2220	Drawing No. 13b	Issue CC



A Section thru Site
1:400 @A3



**TYPICAL SKYLIGHT
DETAIL
1:20**

Issue	Issue description	Date
Z	Parking Layout Rearranged, Boomgate Locations Amended, Bicycle Parking Added + General Amendments	17.12.20
N	Amendments to Coolibah Street facade	27.10.17
L	Amended unit layouts in Block C and Front Elevation	06.09.17
H	Block A North Corner Units amended + Solar access diagrams	30.05.17
G	Sherwood Road Setback Amendments	19.01.17
F	General Amendments	12.01.17



B Section thru Block C
1:400 @A3

AMENDMENTS

- Move Building A+B back to be in 6.0m setback
- Corner units in Block A+B amended.
- Privacy screen removed from bedrooms and balconies.
- Glass louvre windows added for improvements to cross ventilation to all Buildings.
- Windows added for improvements to cross ventilation in Block C.
- Blade walls reduced to improve Solar access.
- 6.0m setbacks shown on all plans.
- Floor Levels Amended

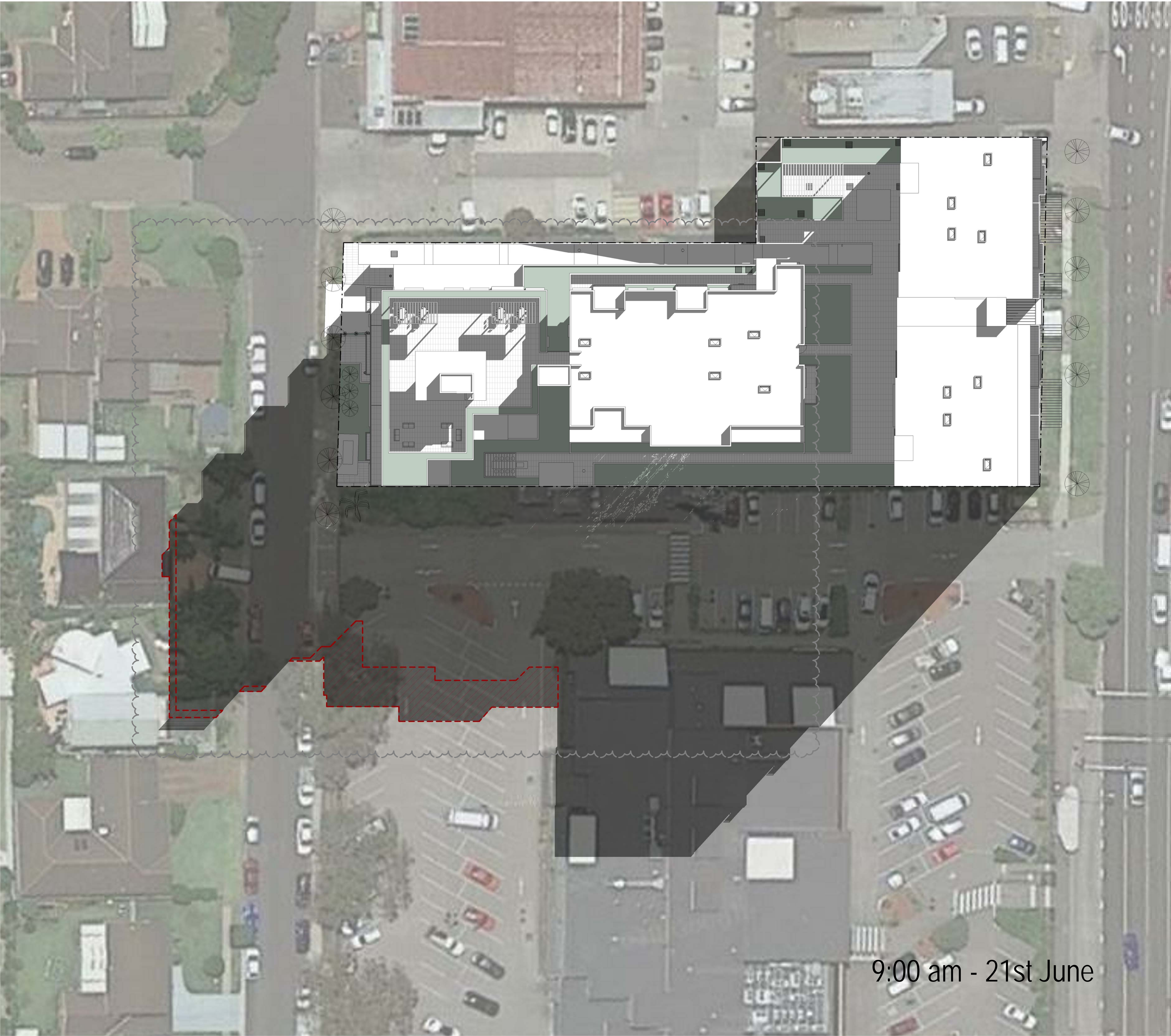
Building Height Legend

- RL # Building Height - Habitable Area
- RL # Building Height - Non Habitable Area
- RL # Building Height Plane/Line

SECTION 4.55

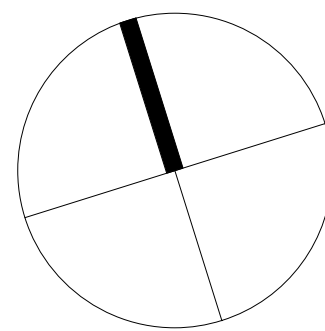


Project	PROPOSED SHOP TOP HOUSING DEVELOPMENT		
Project Address	9 Sherwood Road, Merrylands		
Client			
Title	Site Sections		
Drawn	AS	Scale	1:400 @A3
Job No	2220	Checked	CC
		Drawing No.	.14
		Issue	



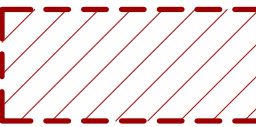
0 m 1 2m 5m

True Northpoint



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Legend



Additional Shadows from S4.55 Proposal

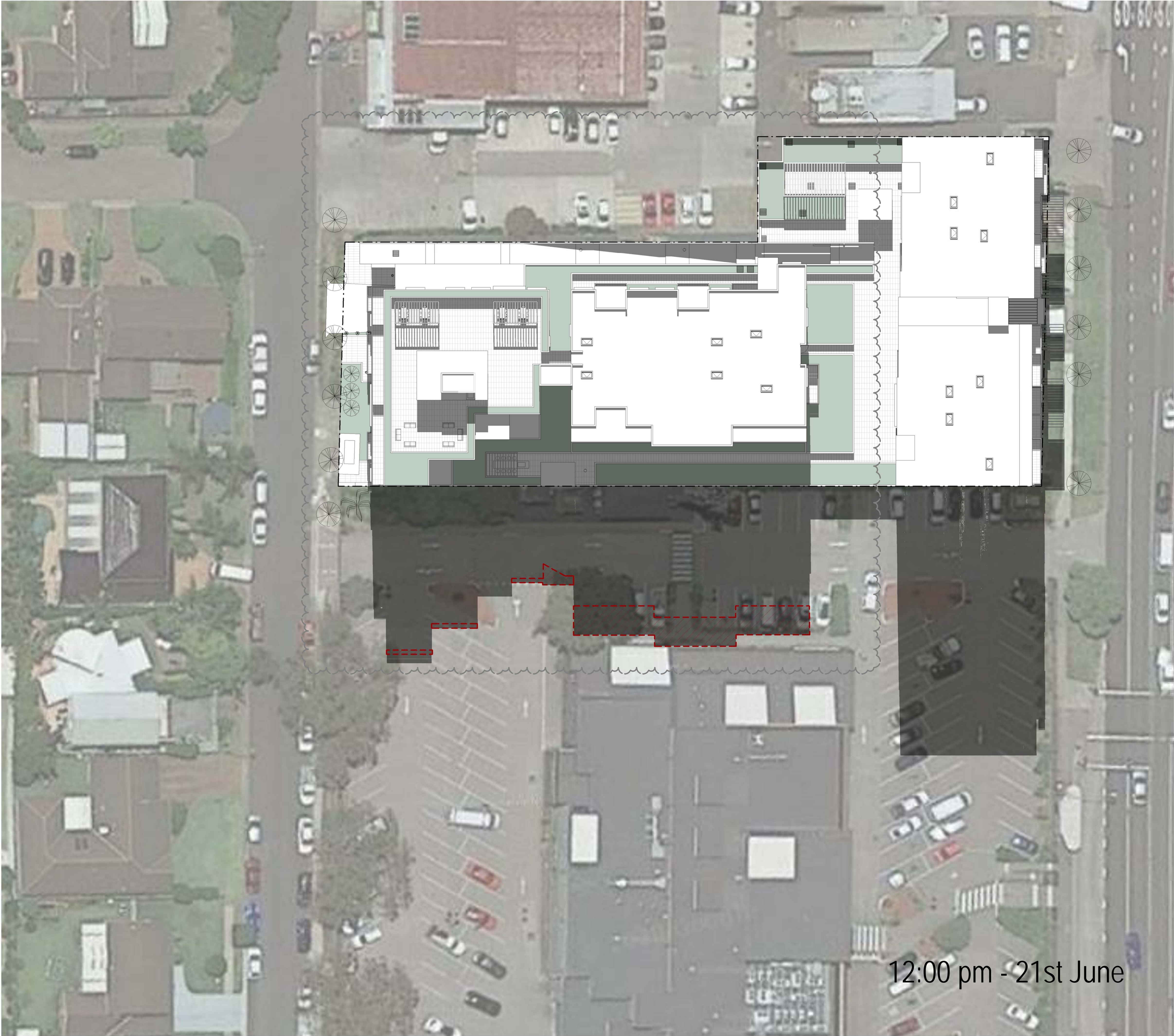
Issue	Issue description	Date
Y	Traffic Amendments, Elevations Added, Shadow + COS Calculation + Solar Access & Cross Ventilation Diagrams added	27.10.20
F	General Amendments	12.01.17
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building seperation information added	16.02.21
A	Development Application	03.05.16

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abn 32 003 315 142
Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
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T : 9633 5888
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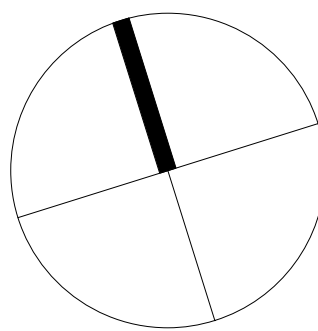
SECTION 4.55

Project PROPOSED SHOP TOP HOUSING DEVELOPMENT		
Project Address 9 Sherwood Road, Merrylands		
Client .		
Title Shadow Diagram 9 am - 21st June		
Drawn AS	Scale As indicated	Checked Checker
Job No 2220	Drawing No. .19	Issue CC



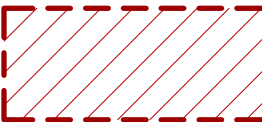
0 m 1 2m 5m

True Northpoint



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Legend



Additional Shadows from S4.55 Proposal

Issue	Issue description	Date
Y	Traffic Amendments, Elevations Added, Shadow + COS Calculation + Solar Access & Cross Ventilation Diagrams added	27.10.20
F	General Amendments	12.01.17
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
A	Development Application	03.05.16



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abn 32 003 315 142

Level 3, 7K Parkes Street

Paramatta NSW 2150

email@architex.com.au

www.architex.com.au

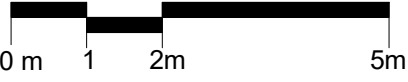
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M : 0418 402 919

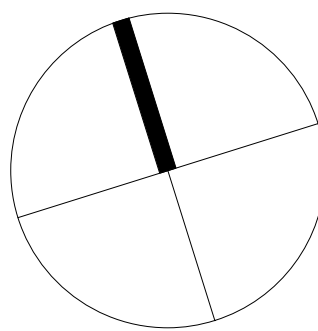
Project	PROPOSED SHOP TOP HOUSING DEVELOPMENT	
Project Address	9 Sherwood Road, Merrylands	
Client	.	
Title	Shadow diagram 12 noon - 21st June	
Drawn	Scale	Checked
AS	As indicated	Checker
Job No	Drawing No.	Issue
2220	.20	CC

SECTION 4.55

12:00 pm - 21st June

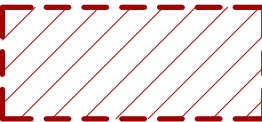


True Northpoint



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Legend



Additional Shadows from S4.55 Proposal

Issue	Issue description	Date
Y	Traffic Amendments, Elevations Added, Shadow + COS Calculation + Solar Access & Cross Ventilation Diagrams added	27.10.20
F	General Amendments	12.01.17
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
A	Development Application	03.05.16



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Level 3, 7K Parkes Street
Parramatta NSW 2150
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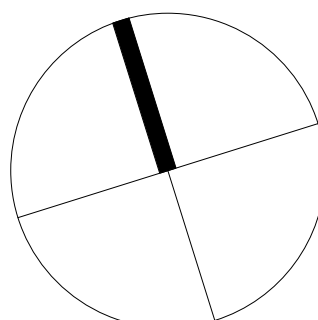
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M : 0418 402 919

SECTION 4.55

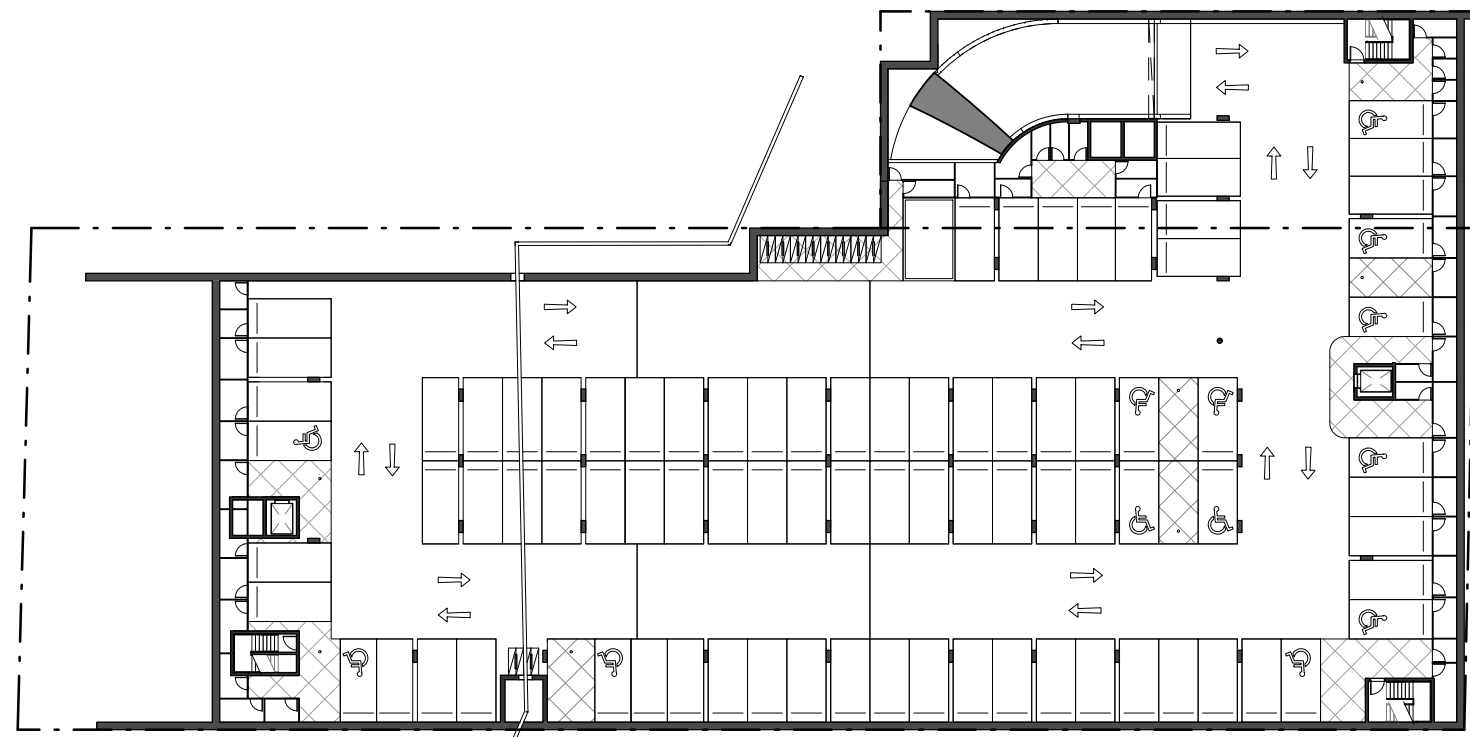
Project PROPOSED SHOP TOP HOUSING DEVELOPMENT		
Project Address 9 Sherwood Road, Merrylands		
Client .		
Title Shadow Diagram 3 pm - 21st June		
Drawn AS	Scale As indicated	Checked Checker
Job No 2220	Drawing No. .21	Issue CC



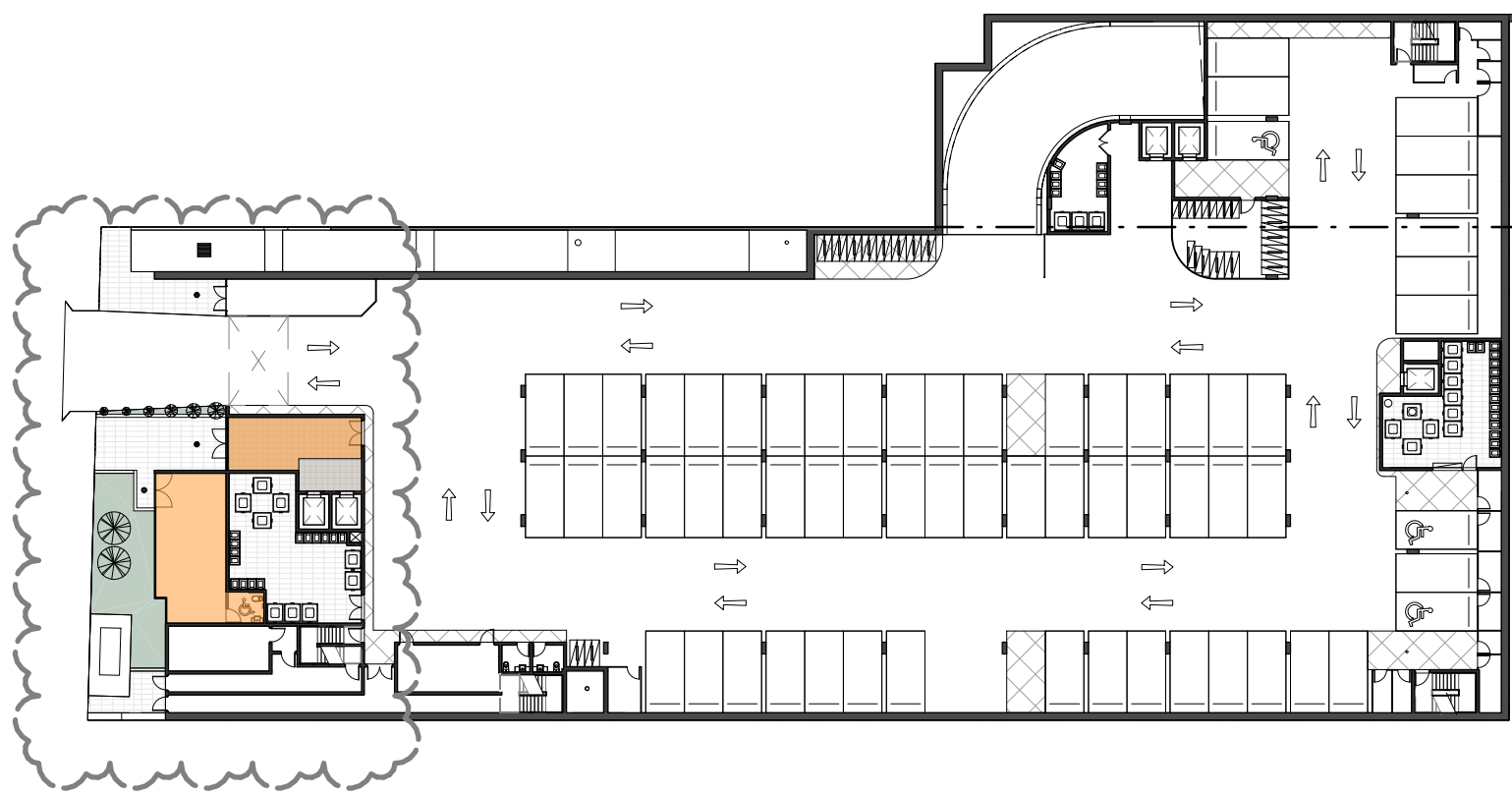
True Northpoint



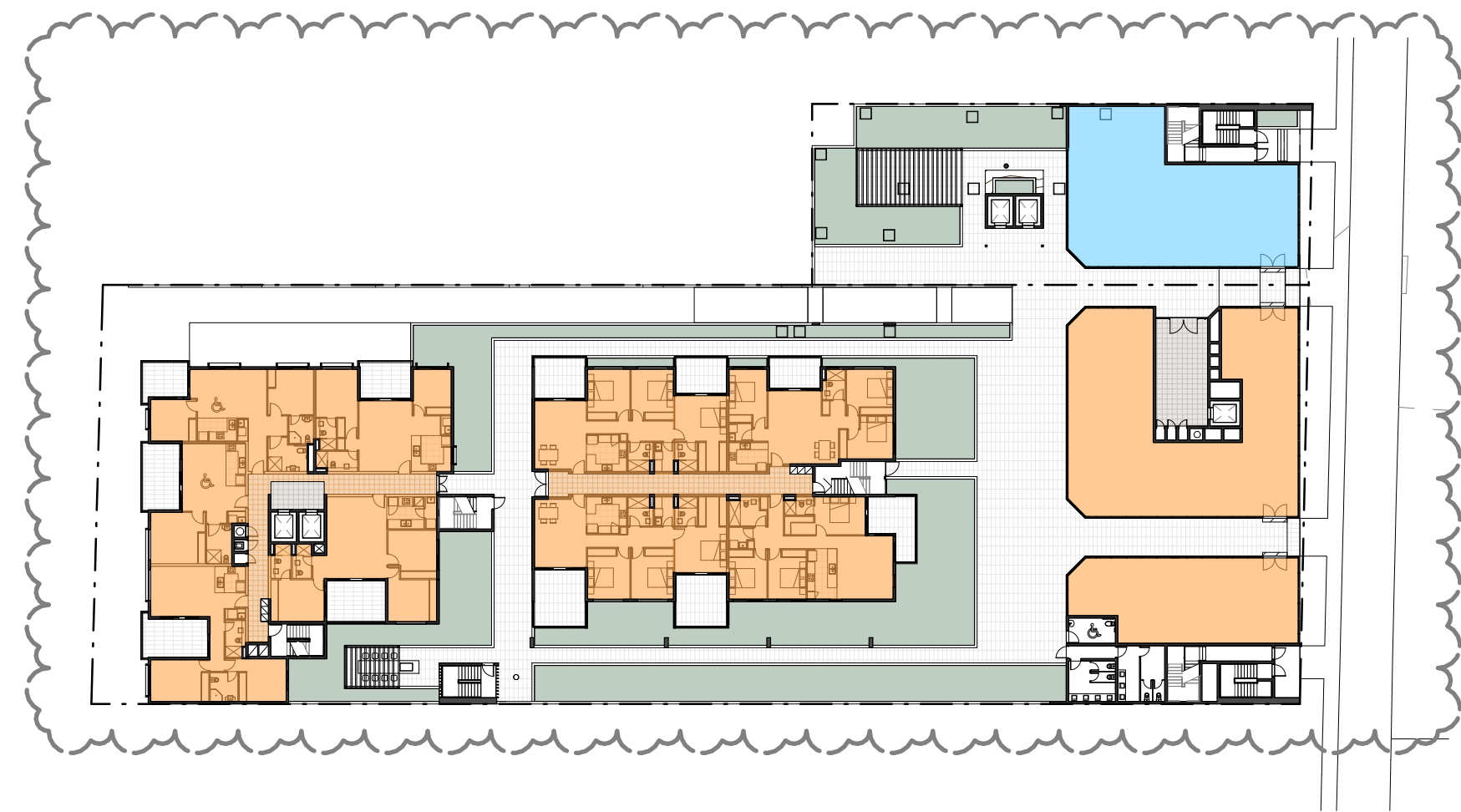
Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.



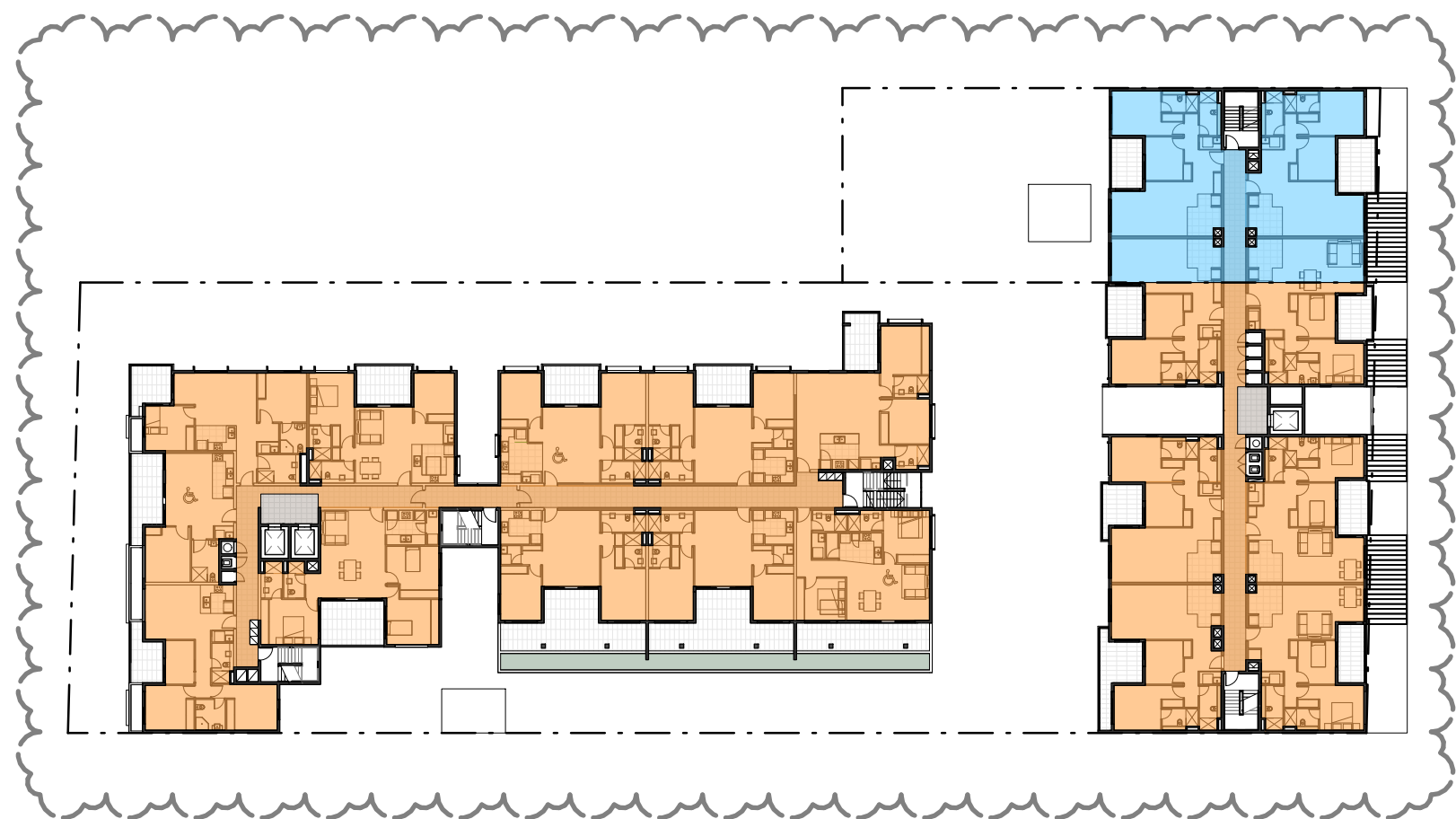
Basement



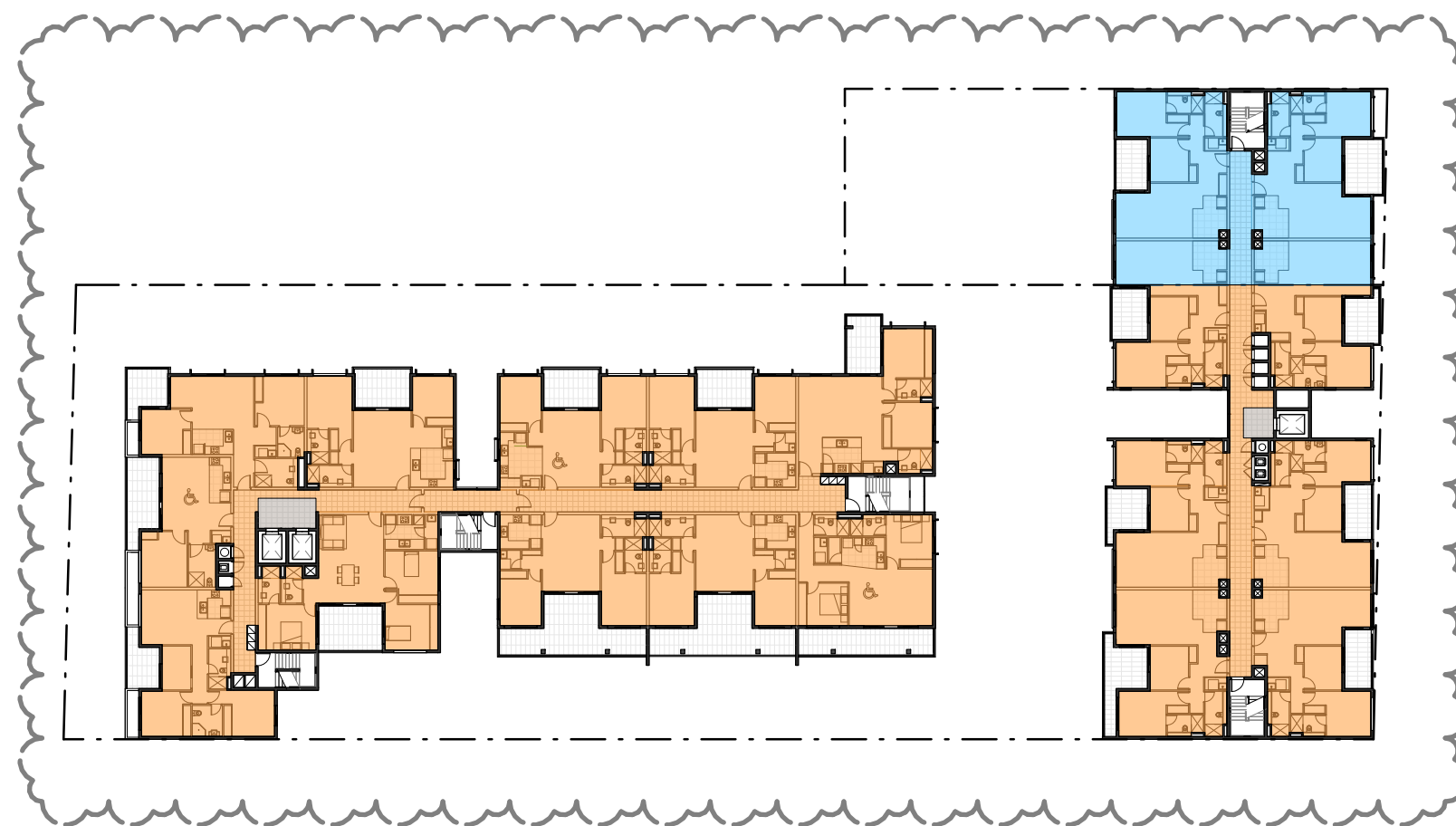
Level 1



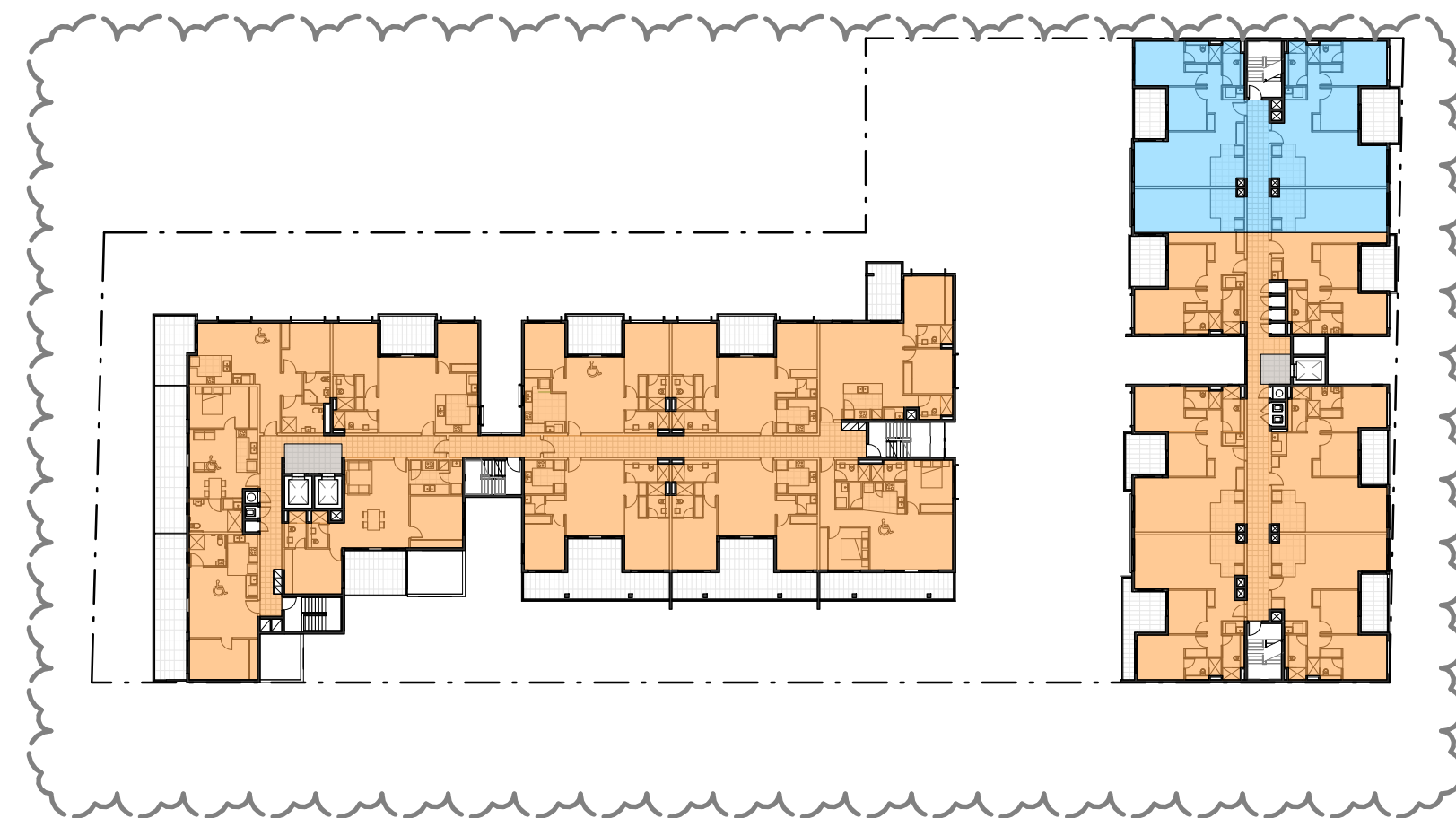
Level 2



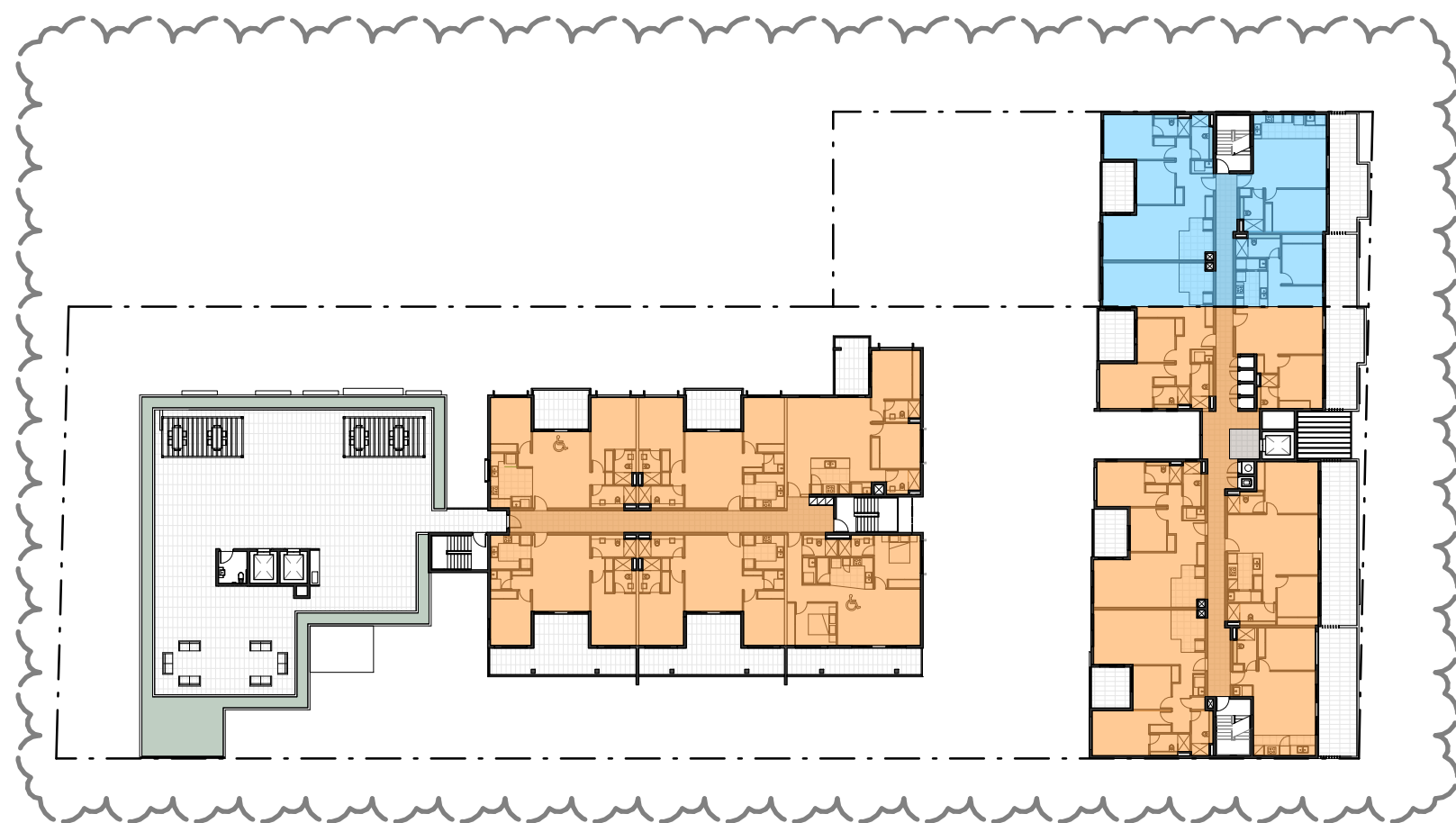
Level 3



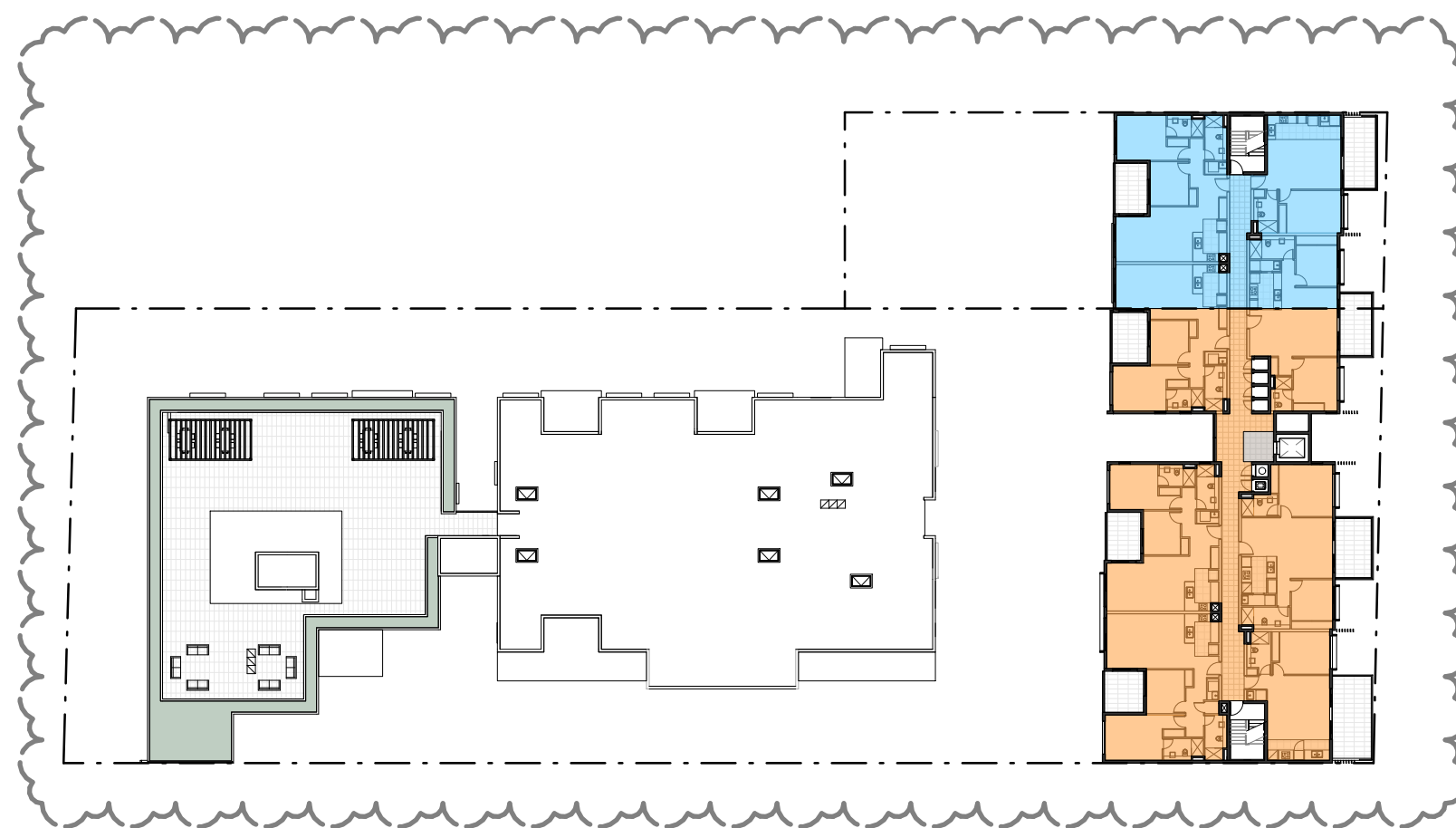
Level 4



Level 5



Level 6



Levels 7 & 8

	<div>Lot 1 Area = 3,171.4 sq.m</div>	<div>Lot 101 Area = 563.2 sq.m</div>
Level 1	80.226 sq.m	
Level 2	1,207.0 sq.m	180.93 sq.m
Level 3	1,403.2 sq.m	225.11 sq.m
Level 4	1,403.2 sq.m	225.11 sq.m
Level 5	1,357.3 sq.m	225.11 sq.m
Level 6	942.9 sq.m	204.7 sq.m
Level 7	428.5 sq.m	204.7 sq.m
Level 8	428.5 sq.m	204.7 sq.m
Proposed GFA	7,250.826 sq.m	1,470.33 sq.m
Proposed FSR	2.28:1	2.61:1

Areas Included in FSR Calculations of Lot 1

Areas Included in FSR Calculations of Lot 101

SECTION 4.55

Issue	Issue description	Date
X	Block B - Level 2 Units Amended, Service Ducts Added, Parking Amended + General Amendments	08.10.20
U	Units Added To Level 6 + General Amendments	30.04.20
P	Section 4.55 - Parking Layout Amended, 6 Units Added + General Amendments	06.02.20

kyeton pry inc t/as Architex
abn 32 003 315 142
Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

T : 9633 5888
M : 0418 402 919

Project PROPOSED SHOP TOP HOUSING DEVELOPMENT		
Project Address 9 Sherwood Road, Merrylands		
Client .		
Title FSR Calculation Diagrams		
Drawn AS	Scale As indicated	Checked Checker
Job No 2220	Drawing No. .26	Issue X



① 3D Shadow Diagrams - Coolibah Hotel - 11am



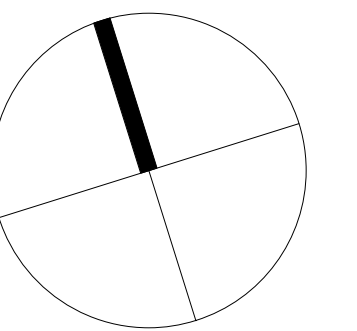
③ 3D Shadow Diagrams - Coolibah Hotel - 1pm



② 3D Shaodw Diagrams - Coolibah Hotel - 12noon



True Northpoint



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Issue	Issue description	Date
G	Sherwood Road Setback Amendments	19-01-17



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 abn 32 003 315 142
 Level 3, 7K Parkes Street
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SECTION 4.55

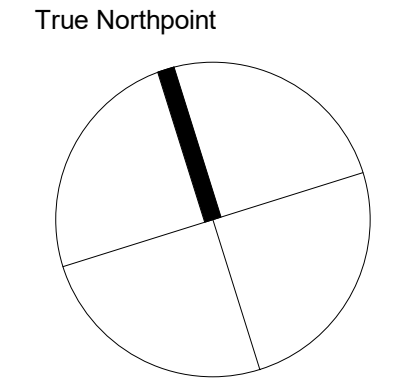
Project
 PROPOSED SHOP TOP HOUSING
 DEVELOPMENT

Project Address
 9 Sherwood Road, Merrylands

Client
 .

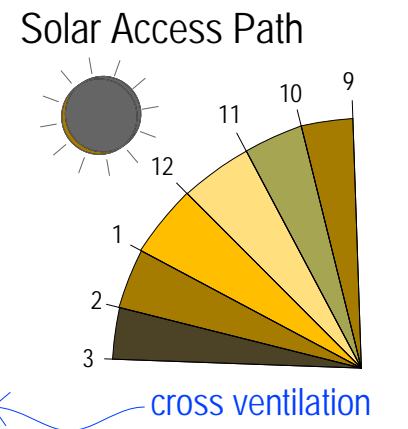
Title
 3D Shadow Diagrams
 - Coolibah Hotel

Drawn AH	Scale	Checked Checker
Job No 2220	Drawing No. .27	Issue G



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Legend
Note: Sun angles taken at 21st June



Notes:
- Refer too hourly shadow diagrams that show no impact of overshadowing from other buildings unless otherwise indicated.
- Structural Columns, Glass balustrades & balcony sliding screens omitted from solar access calculations

Description	Total
Number of Units with living areas receiving 2 hours minimum solar access on 21st June	82 (85.4%)
Number of Units with 0 solar access	14 (14.5%)
Number of Units with cross ventilation	75 (78.1%)

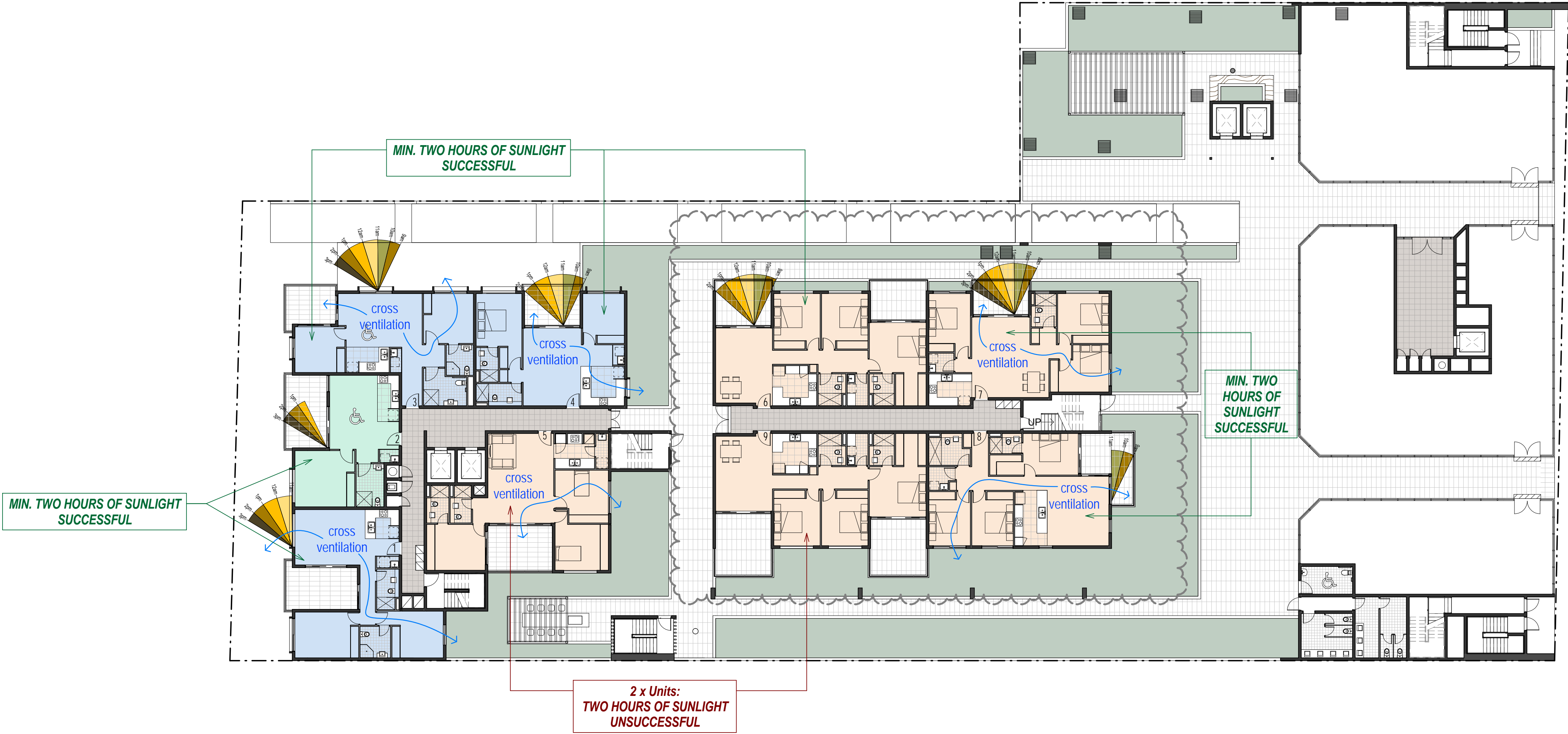
Issue	Issue description	Date
Y	Traffic Amendments, Elevations Added, Shadow + COS Calculation + Solar Access & Cross Ventilation Diagrams added	27.10.20
L	Amended unit layouts in Block C and Front Elevation	08.09.17
K	Solar Access	04.09.17

kyeton pty ltd t/as architex
abn 32 003 315 142
Level 3, 7K Parkes Street
Paramatta NSW 2150
email@architex.com.au
www.architex.com.au

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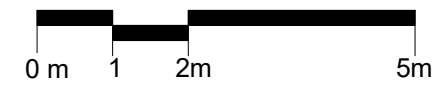
SECTION 4.55

Project PROPOSED SHOP TOP HOUSING DEVELOPMENT		
Project Address 9 Sherwood Road, Merrylands		
Client .		
Title Solar Access - Level 2		
Drawn AS	Scale As indicated	Checked Checker
Job No 2220	Drawing No. .28	Issue Y

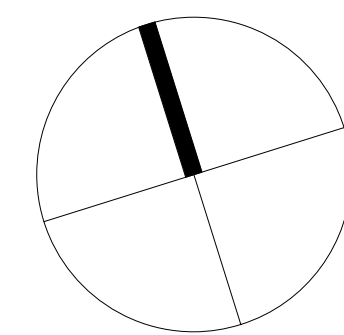


① Level 2 - Solar Access

1 : 200



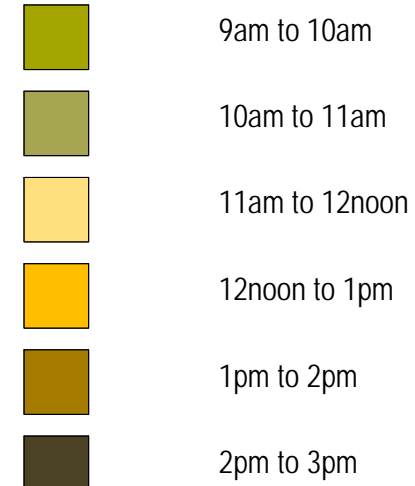
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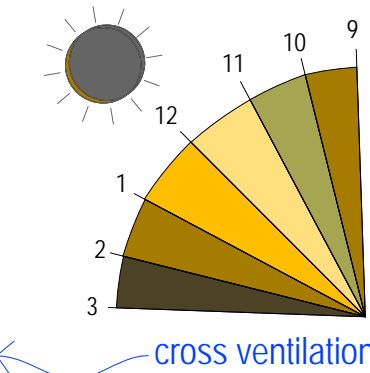
Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Legend

Note: Sun angles taken at 21st June



Solar Access Path



Notes:
- Refer too hourly shadow diagrams that show no impact of overshadowing from other buildings unless otherwise indicated.
- Structural Columns, Glass balustrades & balcony sliding screens omitted from solar access calculations

Description	Total
Number of Units with living areas receiving 2 hours minimum solar access on 21st June	82 (85.4%)
Number of Units with 0 solar access	14 (14.5%)
Number of Units with cross ventilation	75 (78.1%)

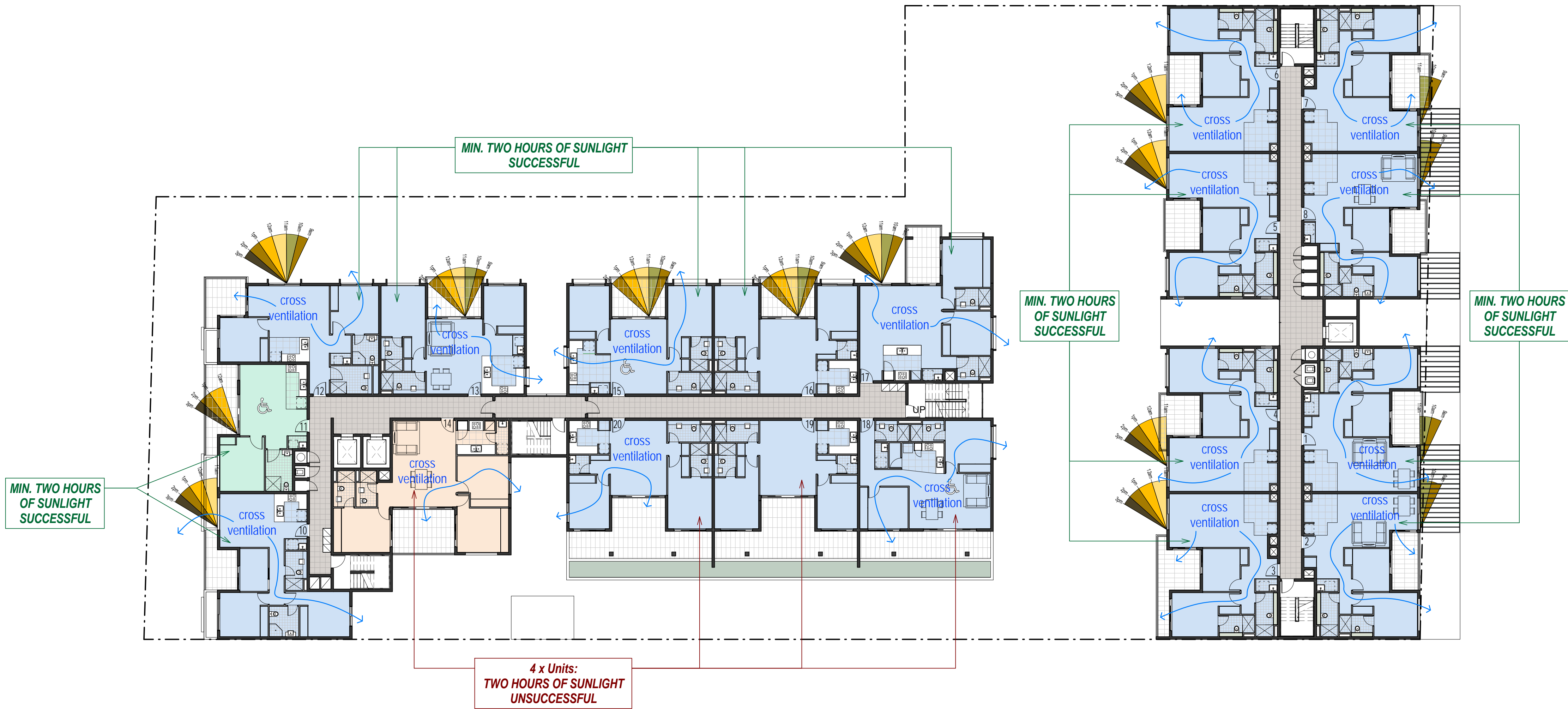
Issue	Issue description	Date
Y	Traffic Amendments, Elevations Added, Shadow + COS Calculation + Solar Access & Cross Ventilation Diagrams added	27.10.20
L	Amended unit layouts in Block C and Front Elevation	08.09.17
K	Solar Access	04.09.17

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abn 32 003 315 142
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Parramatta NSW 2150
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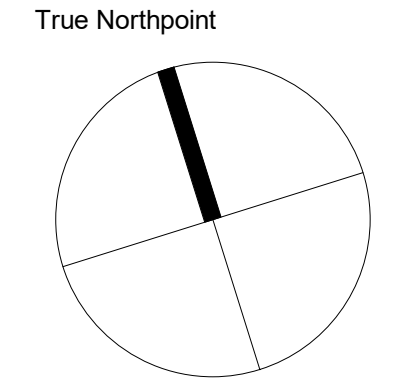
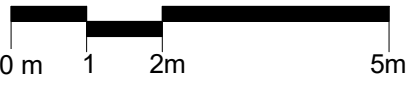
T : 9633 5888
M : 0418 402 919

Project	PROPOSED SHOP TOP HOUSING DEVELOPMENT	
Project Address	9 Sherwood Road, Merrylands	
Client	.	
Title	Solar Access - Level 3	
Drawn	AS	Scale
Job No	2220	As indicated
		Checked
		Checker
		Issue
		Y

SECTION 4.55



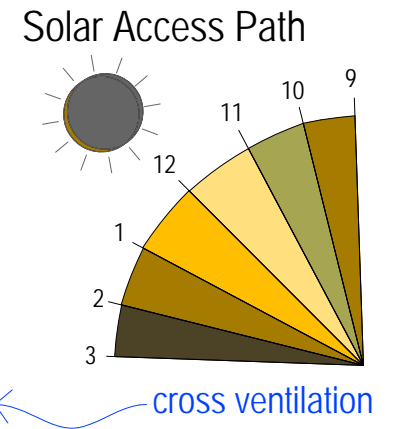
① Level 3 - Solar Access
1 : 200



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Legend

Note: Sun angles taken at 21st June



Notes:
- Refer too hourly shadow diagrams that show no impact of overshadowing from other buildings unless otherwise indicated.
- Structural Columns, Glass balustrades & balcony sliding screens omitted from solar access calculations

Description	Total
Number of Units with living areas receiving 2 hours minimum solar access on 21st June	82 (85.4%)
Number of Units with 0 solar access	14 (14.5%)
Number of Units with cross ventilation	75 (78.1%)

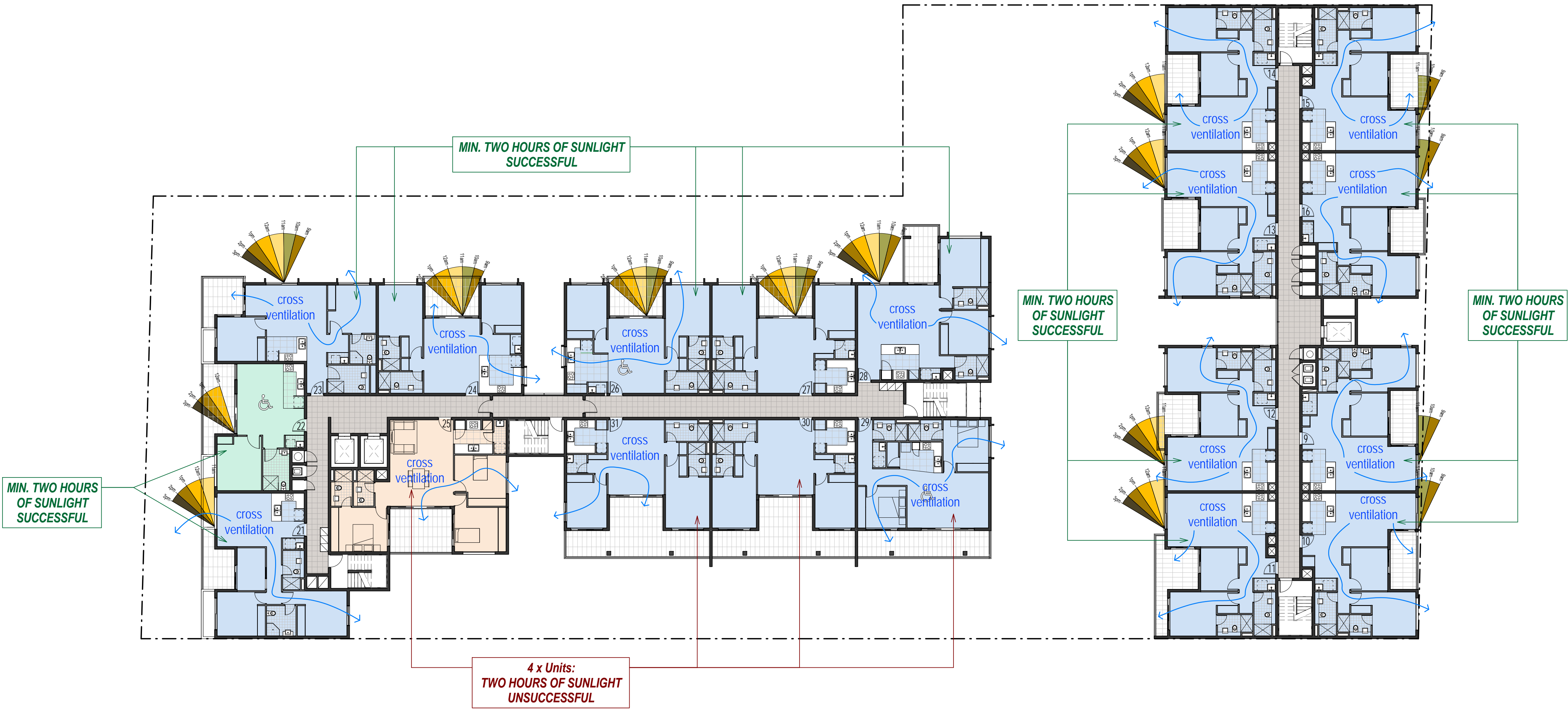
Issue	Issue description	Date
Y	Traffic Amendments, Elevations Added, Shadow + COS Calculation + Solar Access & Cross Ventilation Diagrams added	27.10.20
L	Amended unit layouts in Block C and Front Elevation	08.09.17
K	Solar Access	04.09.17

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abn 32 003 315 142
Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

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M : 0418 402 919

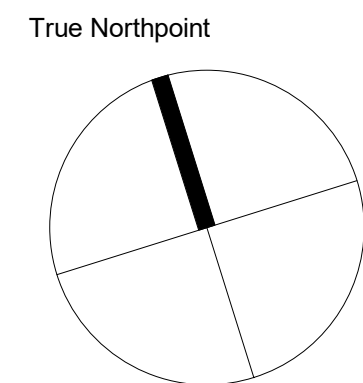
SECTION 4.55

Project	PROPOSED SHOP TOP HOUSING DEVELOPMENT	
Project Address	9 Sherwood Road, Merrylands	
Client	.	
Title	Solar Access - Level 4	
Drawn	Scale	Checked
AS	As indicated	Checker
Job No	Drawing No.	Issue
2220	.30	Y



1 Level 4 - Solar Access

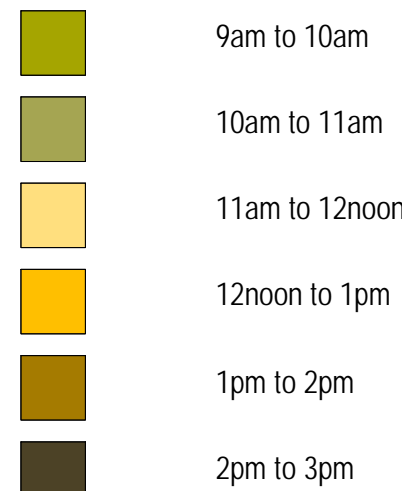
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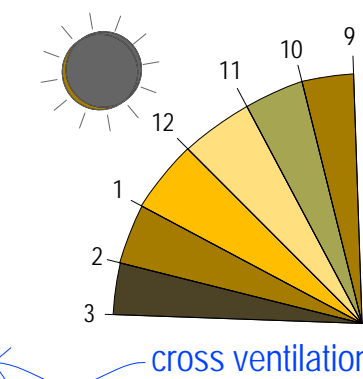
Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Legend

Note: Sun angles taken at 21st June



Solar Access Path



Notes:
- Refer too hourly shadow diagrams that show no impact of overshadowing from other buildings unless otherwise indicated.
- Structural Columns, Glass balustrades & balcony sliding screens omitted from solar access calculations

Description	Total
Number of Units with living areas receiving 2 hours minimum solar access on 21st June	82 (85.4%)
Number of Units with 0 solar access	14 (14.5%)
Number of Units with cross ventilation	75 (78.1%)

Issue	Issue description	Date
Y	Traffic Amendments, Elevations Added, Shadow + COS Calculation + Solar Access & Cross Ventilation Diagrams added	27.10.20
L	Amended unit layouts in Block C and Front Elevation	08.09.17
K	Solar Access	04.09.17

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Parramatta NSW 2150
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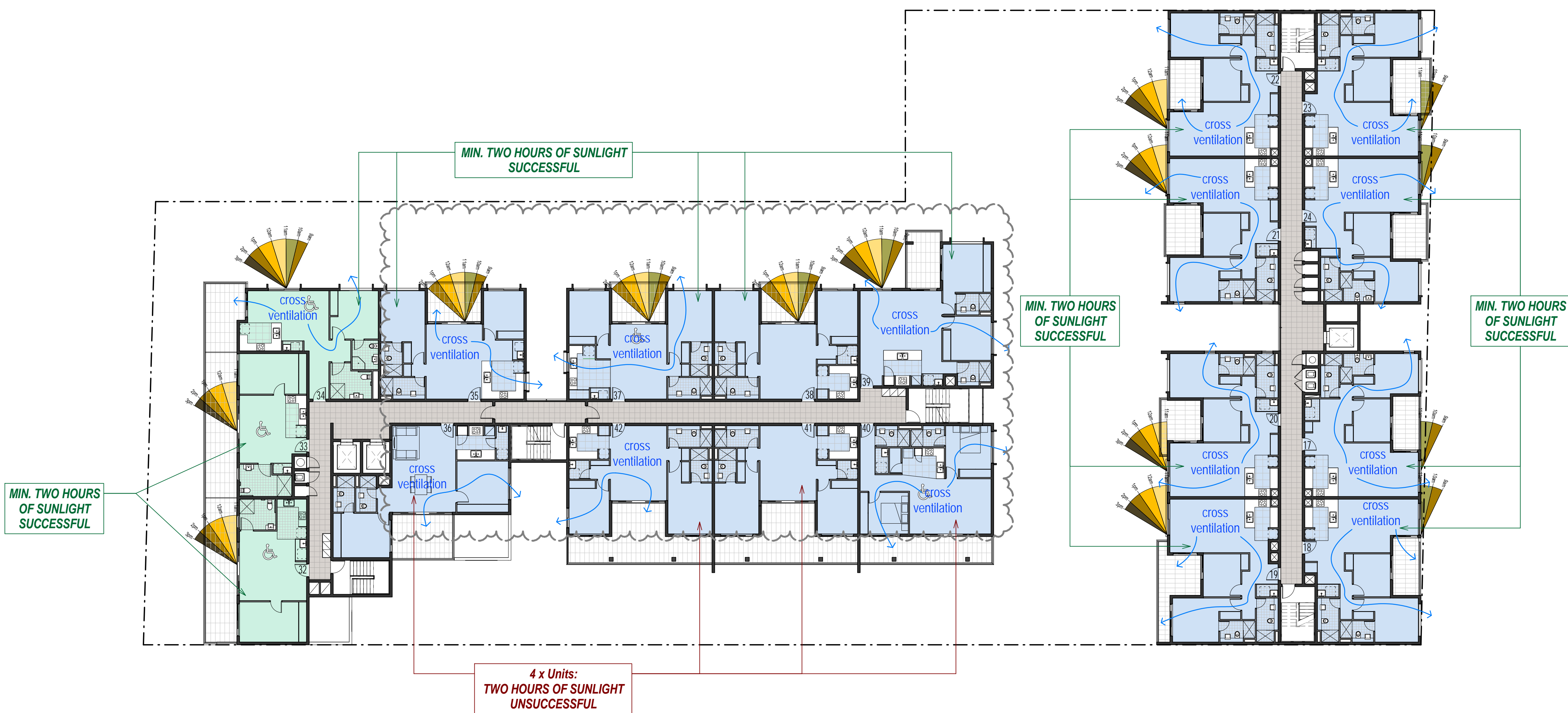
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M : 0418 402 919

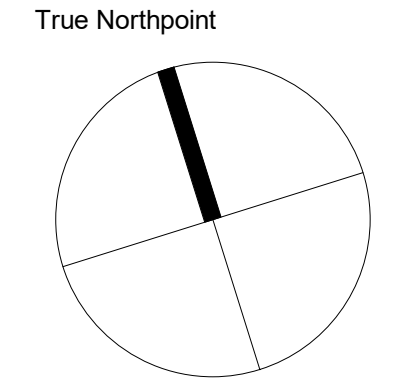
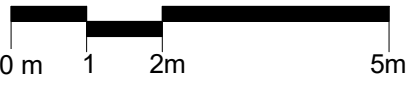
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Project	PROPOSED SHOP TOP HOUSING DEVELOPMENT	
Project Address	9 Sherwood Road, Merrylands	
Client	.	
Title	Solar Access - Level 5	
Drawn	Scale	Checked
AS	As indicated	Checker
Job No	Drawing No.	Issue
2220	.31	Y

1 Level 5 - Solar Access

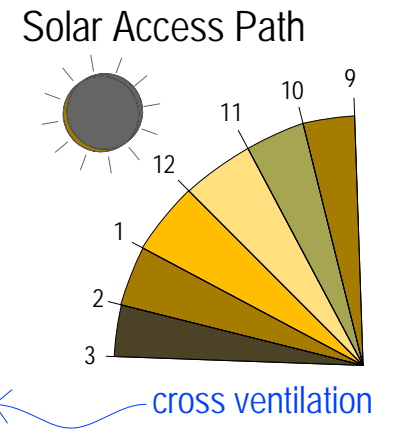
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Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Legend
Note: Sun angles taken at 21st June



Notes:
- Refer to hourly shadow diagrams that show no impact of overshadowing from other buildings unless otherwise indicated.
- Structural Columns, Glass balustrades & balcony sliding screens omitted from solar access calculations

Description	Total
Number of Units with living areas receiving 2 hours minimum solar access on 21st June	82 (85.4%)
Number of Units with 0 solar access	14 (14.5%)
Number of Units with cross ventilation	75 (78.1%)

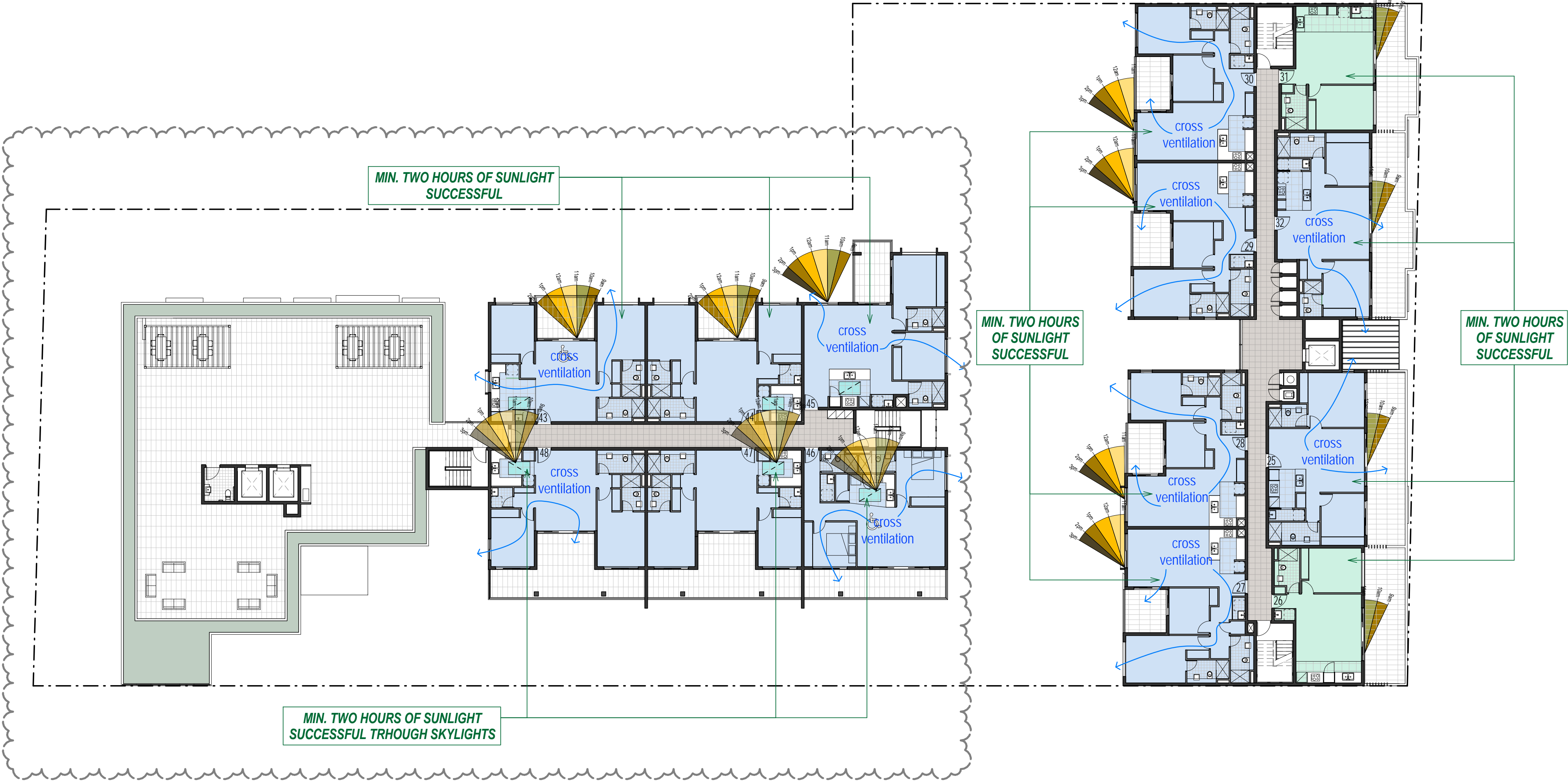
Issue	Issue description	Date
Y	Traffic Amendments, Elevations Added, Shadow + COS Calculation + Solar Access & Cross Ventilation Diagrams added	27.10.20
L	Amended unit layouts in Block C and Front Elevation	08.09.17
K	Solar Access	04.09.17

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abn 32 003 315 142
Level 3, 7K Parkes Street
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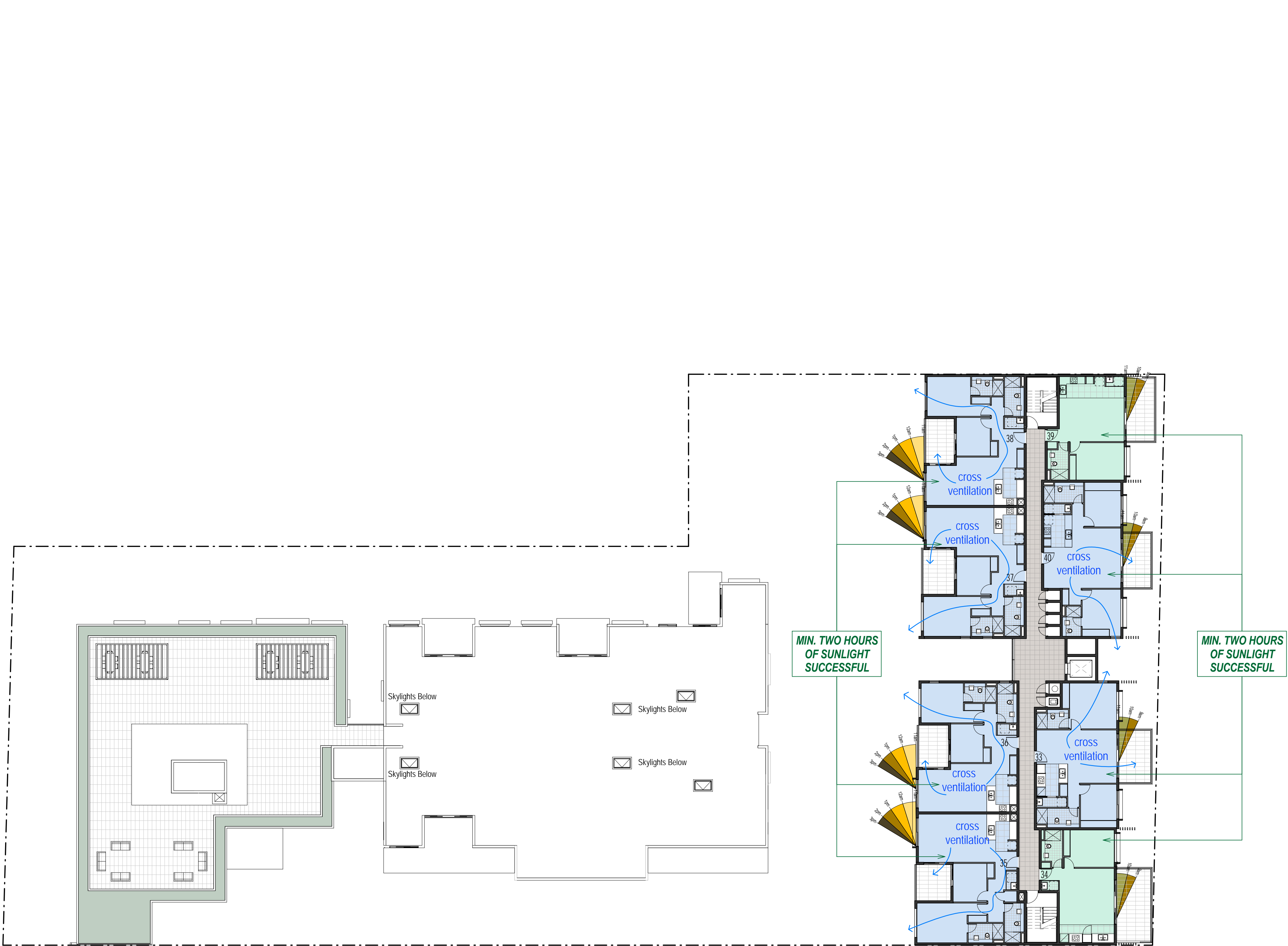
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Project	PROPOSED SHOP TOP HOUSING DEVELOPMENT	
Project Address	9 Sherwood Road, Merrylands	
Client	.	
Title	Solar Access - Level 6	
Drawn	AS	Scale
Job No	2220	As indicated
Scale	.32	Checked
Drawing No.		Checker
Issue		Y

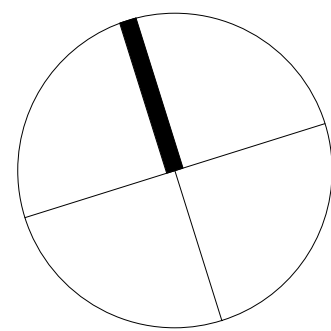


1 Level 6 - Solar Access

1:200



True Northpoint



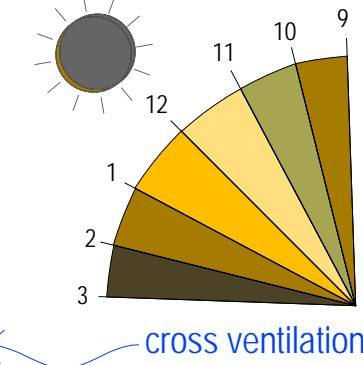
Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Legend

Note: Sun angles taken at 21st June



Solar Access Path



Notes:
- Refer too hourly shadow diagrams that show no impact of overshadowing from other buildings unless otherwise indicated.
- Structural Columns, Glass balustrades & balcony sliding screens omitted from solar access calculations

Description	Total
Number of Units with living areas receiving 2 hours minimum solar access on 21st June	82 (85.4%)
Number of Units with 0 solar access	14 (14.5%)
Number of Units with cross ventilation	75 (78.1%)

Issue	Issue description	Date
Y	Traffic Amendments, Elevations Added, Shadow + COS Calculation + Solar Access & Cross Ventilation Diagrams added	27.10.20
L	Amended unit layouts in Block C and Front Elevation	08.09.17
K	Solar Access	04.09.17



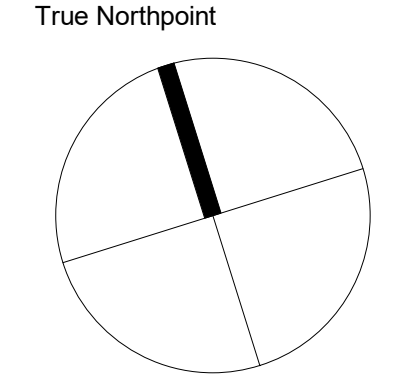
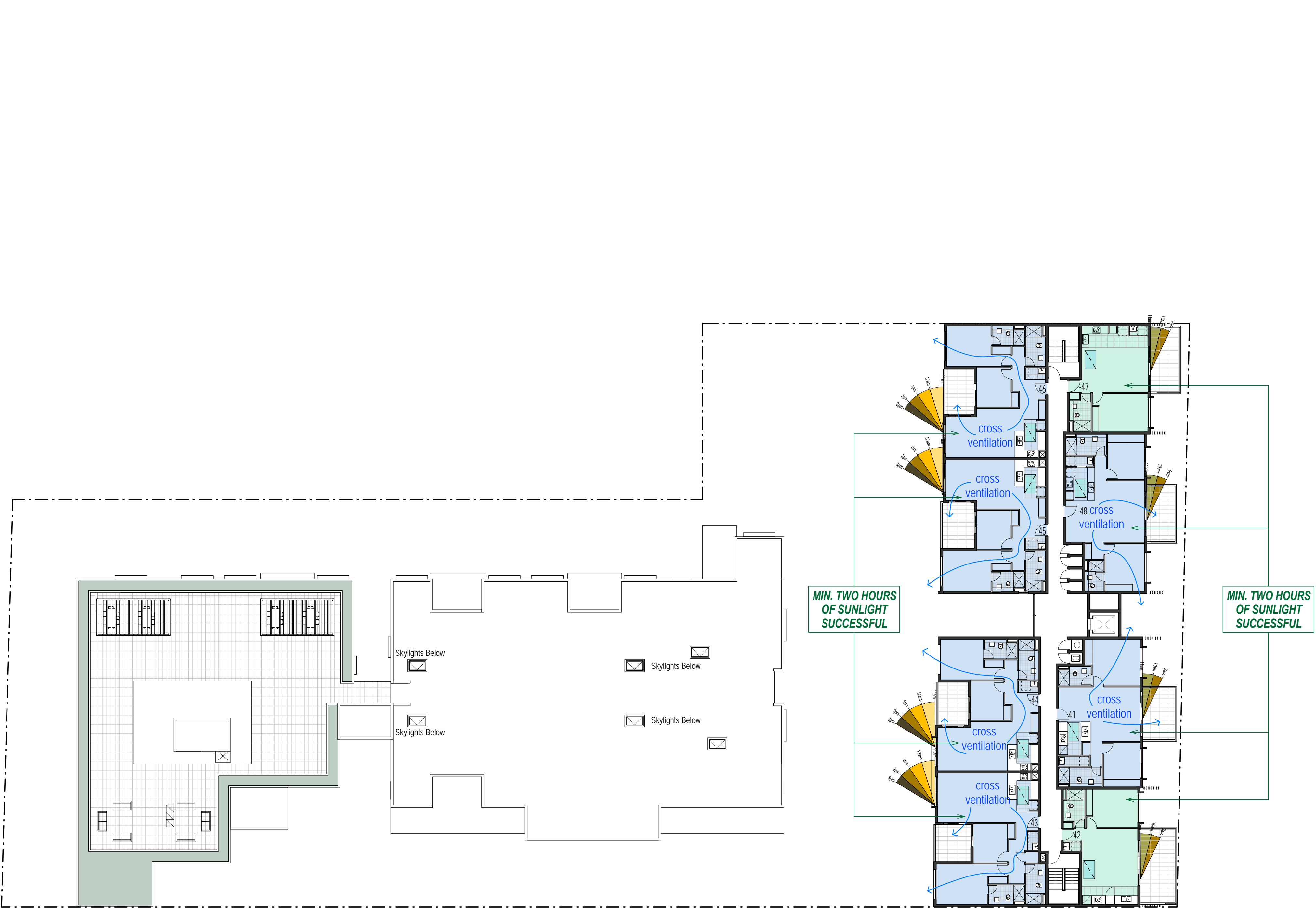
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Level 3, 7K Parkes Street
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SECTION 4.55

Project PROPOSED SHOP TOP HOUSING DEVELOPMENT		
Project Address 9 Sherwood Road, Merrylands		
Client .		
Title Solar Access - Level 7		
Drawn AS	Scale As indicated	Checked Checker
Job No 2220	Drawing No. .33	Issue Y

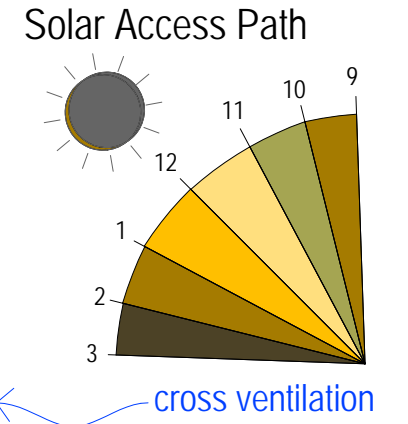
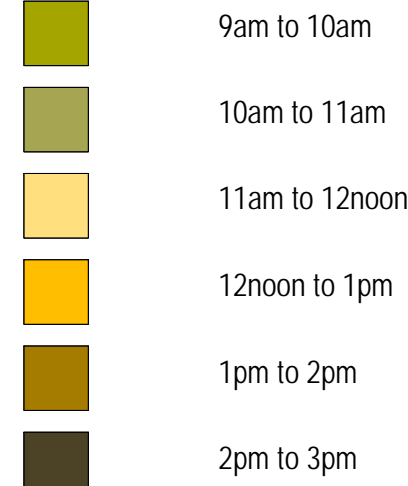
1 Level 7 - Solar Access
1 : 200



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Legend

Note: Sun angles taken at 21st June



Notes:
- Refer to hourly shadow diagrams that show no impact of overshadowing from other buildings unless otherwise indicated.
- Structural Columns, Glass balustrades & balcony sliding screens omitted from solar access calculations

Description	Total
Number of Units with living areas receiving 2 hours minimum solar access on 21st June	82 (85.4%)
Number of Units with 0 solar access	14 (14.5%)
Number of Units with cross ventilation	75 (78.1%)

Issue	Issue description	Date
Y	Traffic Amendments, Elevations Added, Shadow + COS Calculation + Solar Access & Cross Ventilation Diagrams added	27.10.20
L	Amended unit layouts in Block C and Front Elevation	08.09.17
K	Solar Access	04.09.17

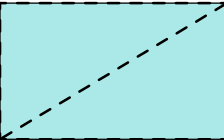
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Parramatta NSW 2150
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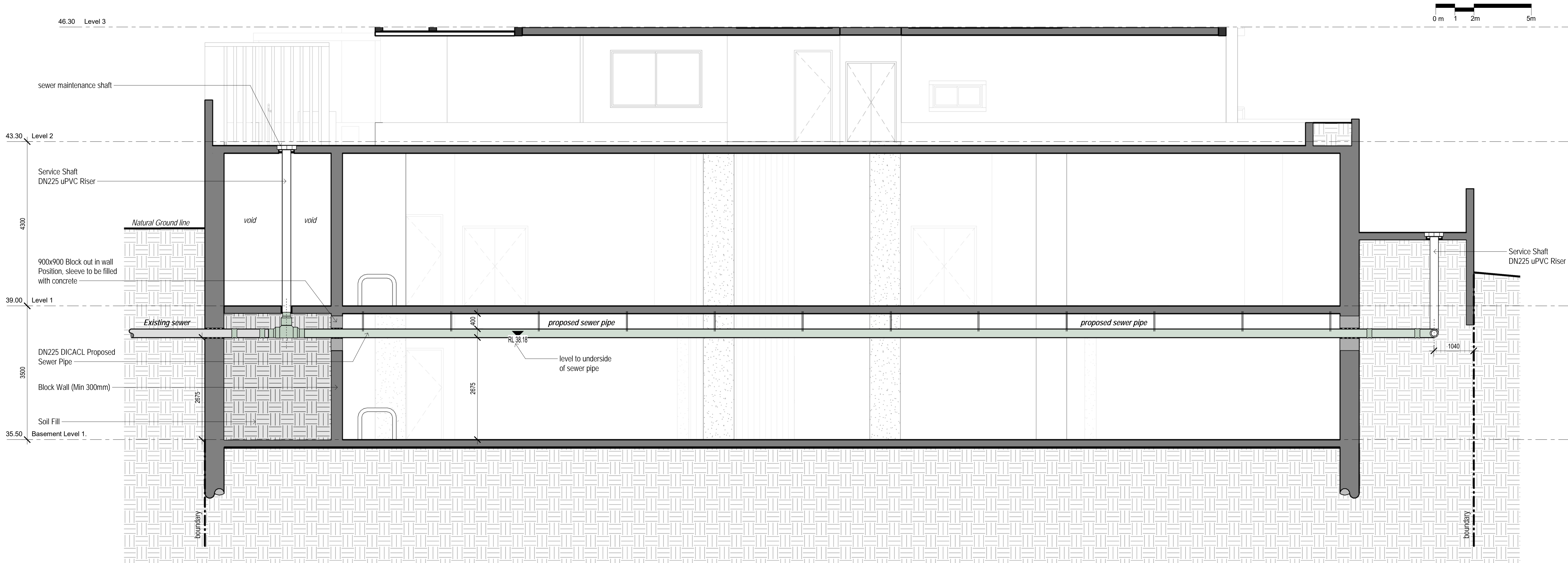
1 Level 8 - Solar Access
1 : 200

SECTION 4.55

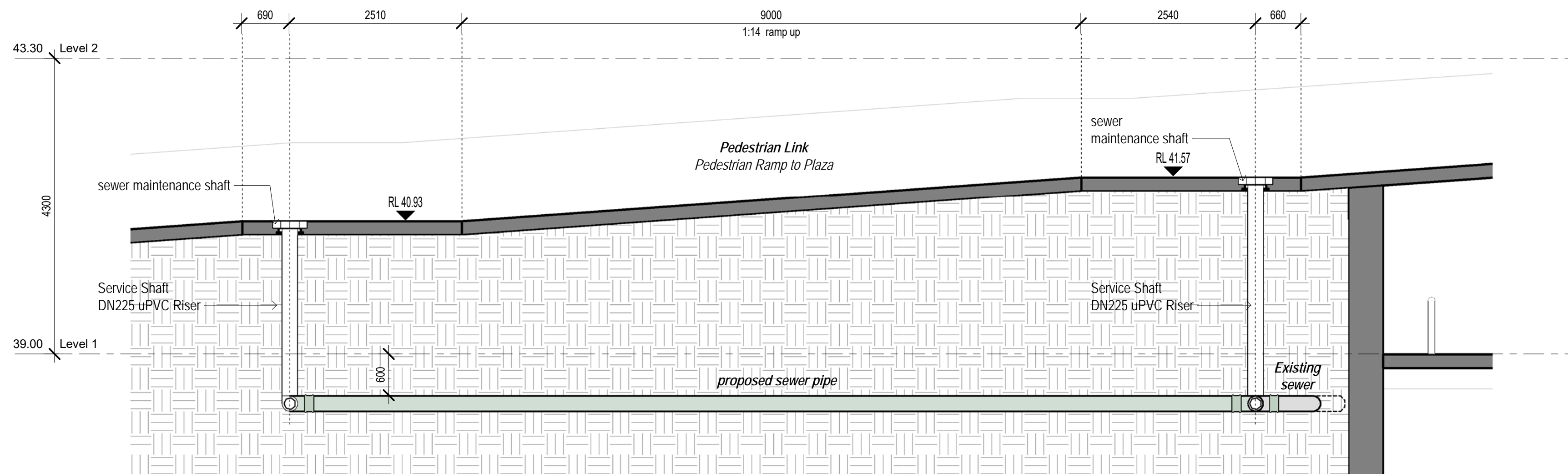
Project PROPOSED SHOP TOP HOUSING DEVELOPMENT		
Project Address 9 Sherwood Road, Merrylands		
Client .		
Title Solar Access - Level 8		
Drawn AS	Scale As indicated	Checked Checker
Job No 2220	Drawing No. .34	Issue Y



Skylight Over - 900 x 1500 (Level 8 Only)



1 Section - Sewer Pipe Clearance 1:100 @A3



2 Section - Pedestrian Ramp 1:100 @A3

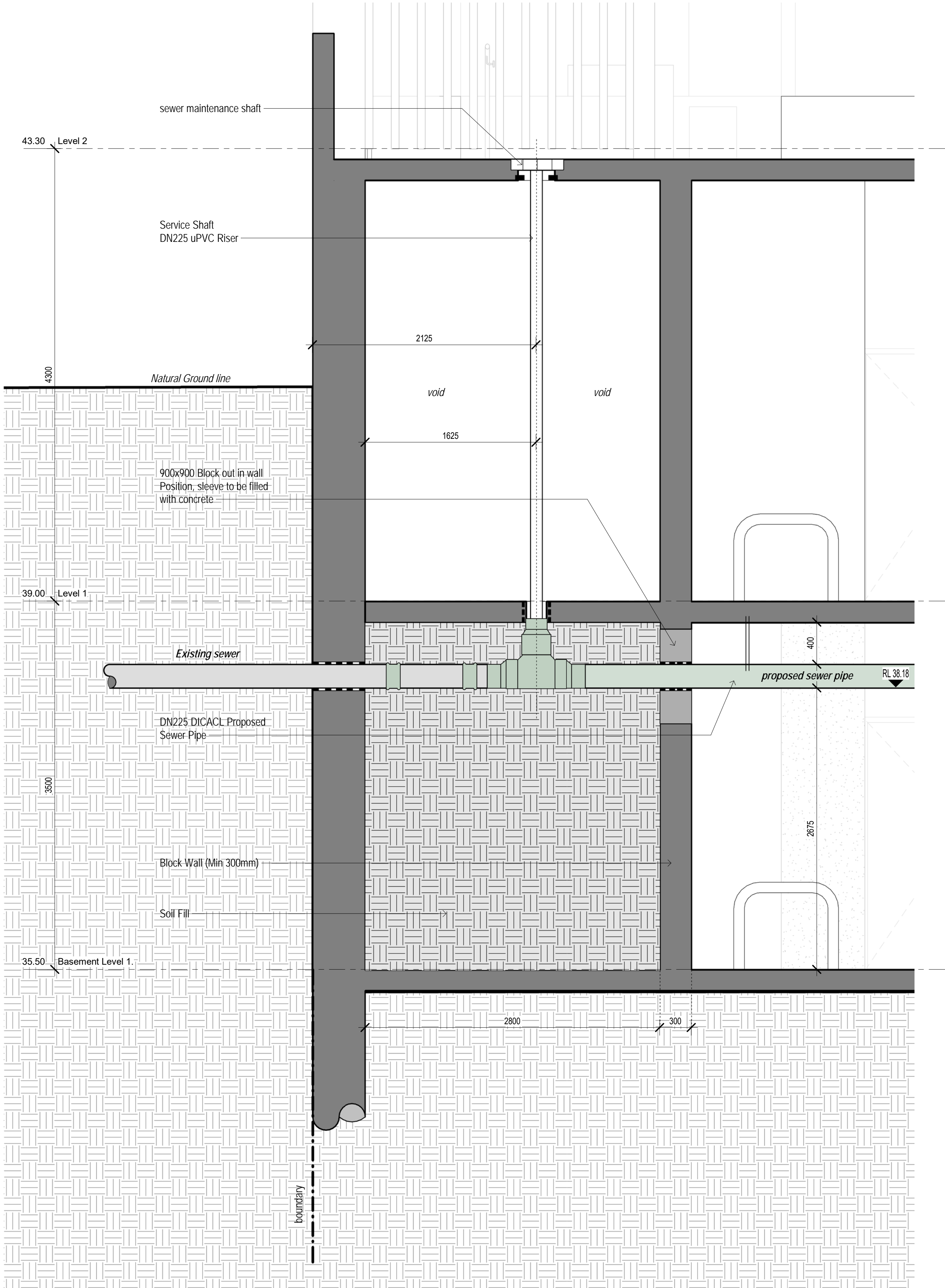
Issue	Issue description	Date
T	Amendments to basement to allow for sewer	09.03.20
Q	Sewer Pipe Details Added	21.02.20
O	Sewer Pipe Amendments	18.12.19



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kyteton pry inc t/as Architex
abn 32 003 315 142
Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

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M : 0418 402 919

SECTION 4.55	Project	PROPOSED SHOP TOP HOUSING DEVELOPMENT	
	Project Address	9 Sherwood Road, Merrylands	
	Client	.	
	Title	Sections - Sewer Pipe Clearance	
Drawn	AS	Scale	1:100 @A3
Job No	2220	Checked	Checker
		Drawing No.	Issue
		.35	T



1 Section - Sewer Pipe/Shaft Detail 1:50 @A3

Issue	Issue description	Date
T	Amendments to basement to allow for sewer	09.03.20
Q	Sewer Pipe Details Added	21.02.20

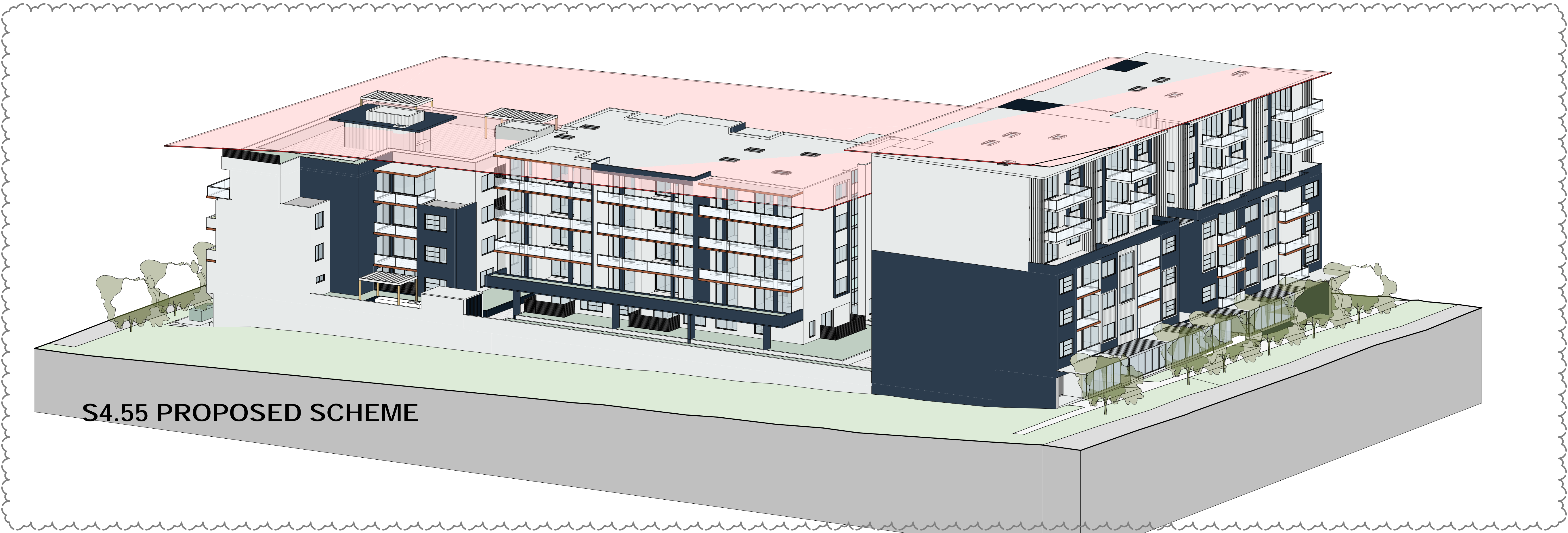


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Kyelem Pty Ltd t/as Architex
abn 32 003 315 142
Level 3, 7K Parkes Street
Paramatta NSW 2150
email@architex.com.au
www.architex.com.au

T : 9633 5888
M : 0418 402 919

SECTION 4.55	Project PROPOSED SHOP TOP HOUSING DEVELOPMENT		
	Project Address 9 Sherwood Road, Merrylands		
	Client .		
	Title Section - Sewer Pipe/Shaft Detail		
	Drawn AS	Scale 1:50 @A3	Checked Checker
	Job No 2220	Drawing No. .36	Issue T

PROPOSED SHOP TOP HOUSING DEVELOPMENT



S4.55 PROPOSED SCHEME

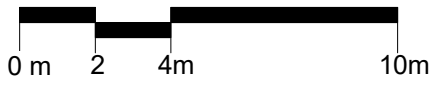
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Building Max Height Planes



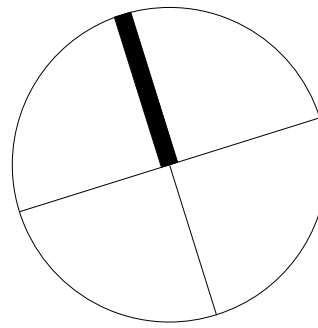
DA APPROVED SCHEME

X Block B - Level 2 Units 08.10.20
Amended, Service
Ducts Added, Parking
Amended + General
Amendments

9 Sherwood Road, Merrylands



True Northpoint



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Areas Included in Common Open Space Calculations

Site Area LOT 1 = 3,171.4 sq.m

Site Area LOT 2 = 563.2 sq.m

Total Site Area = 3,734.6 sq.m

Common Open Space = 1,674.4 sq.m (44.83%)

Issue	Issue description	Date
Y	Traffic Amendments, Elevations Added, Shadow + COS Calculation + Solar Access & Cross Ventilation Diagrams added	27.10.20

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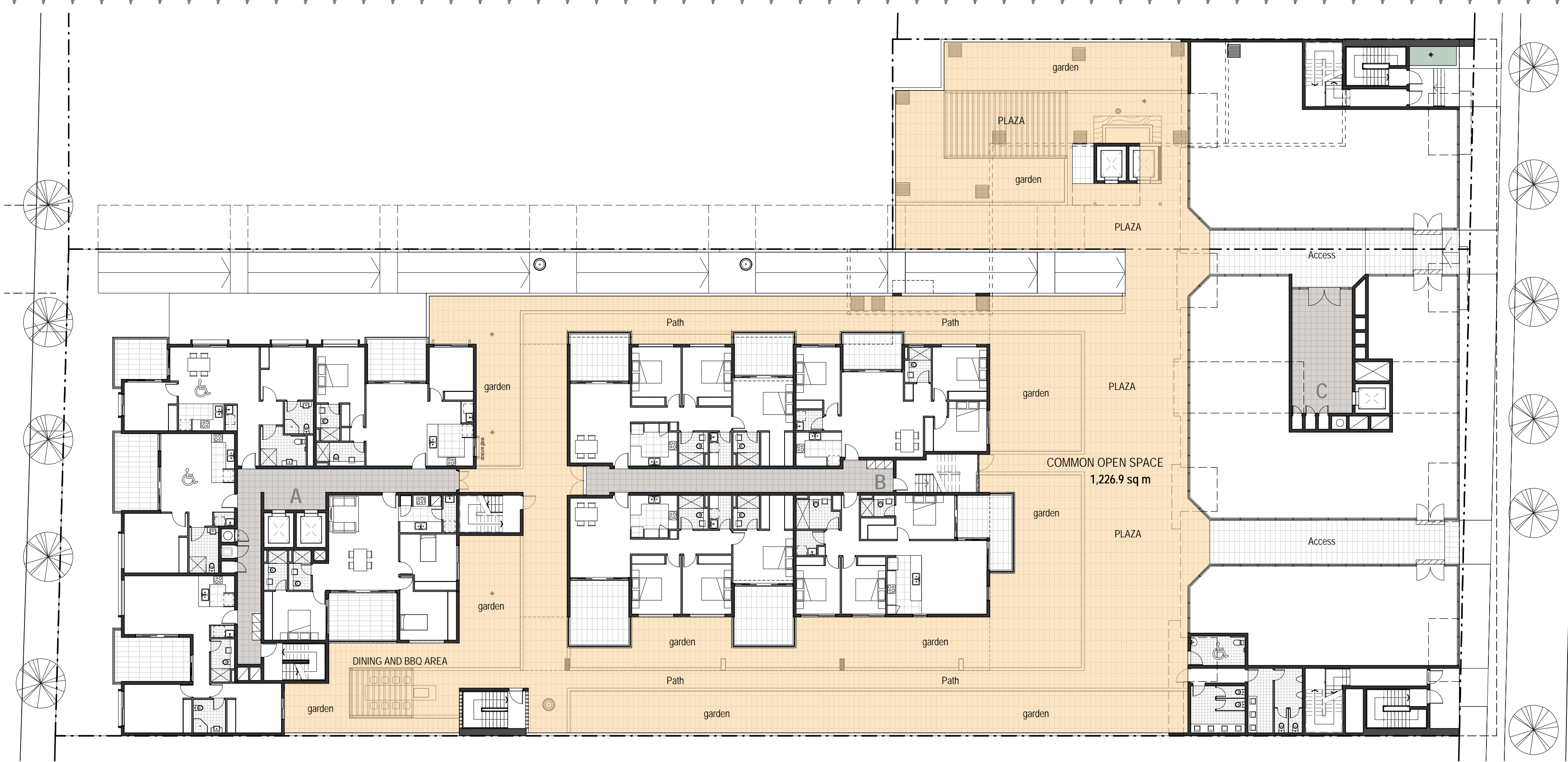
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abn 32 003 315 142

Level 3, 7/K Parkes Street
Paramatta NSW 2150
Nominated Architect:

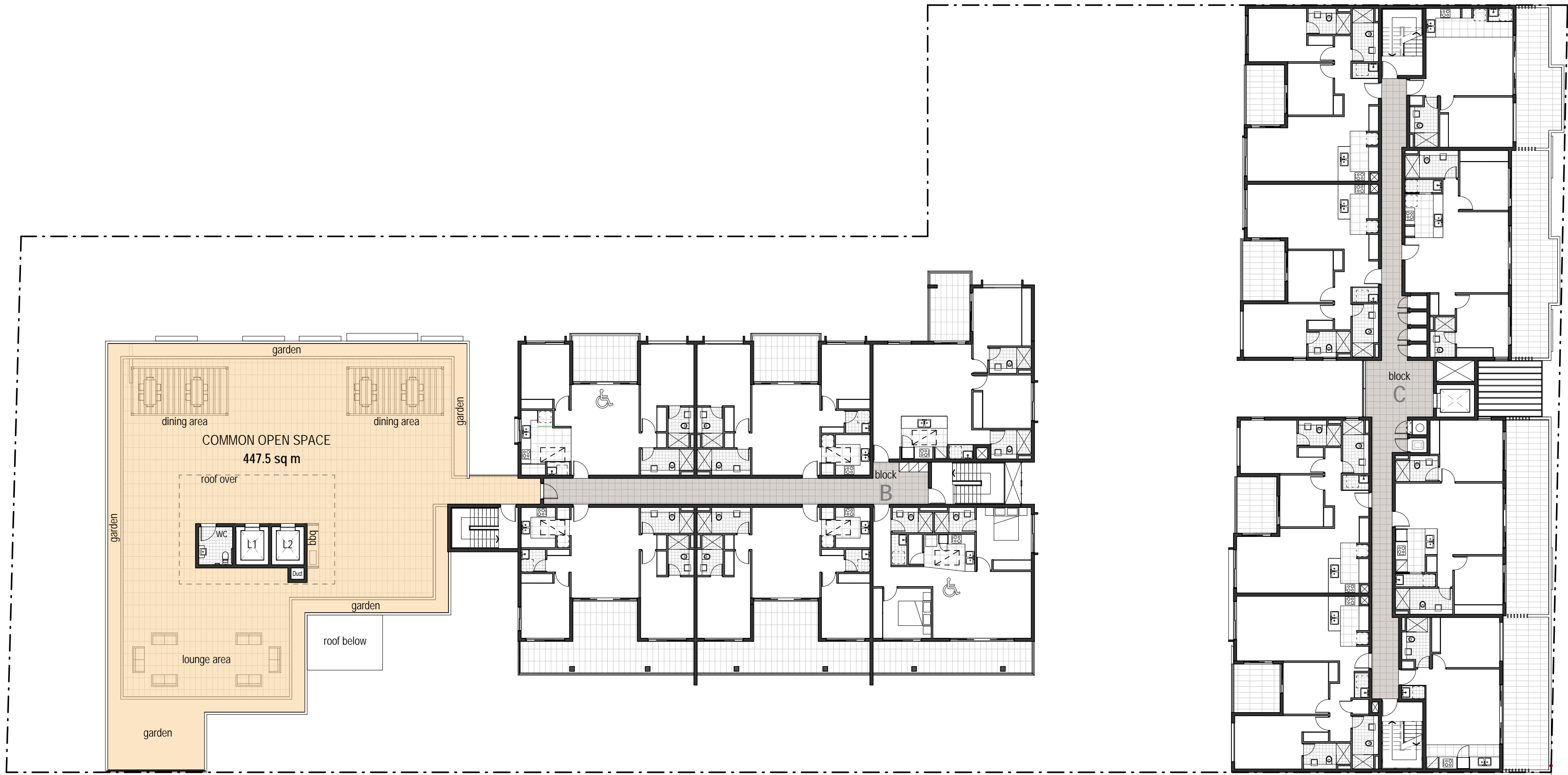
T: 02 9633 5888
M: 0418 402 919
email@architex.com.au
www.architex.com.au
Robert Del Pizzo
NSW Reg. No. 3972

Project PROPOSED SHOP TOP HOUSING DEVELOPMENT		
Project Address 9 Sherwood Road, Merrylands		
Client .		
Title Common Open Space Calculation Diagrams		
Drawn AS	Scale As indicated	Checked Checker
Job No 2220	Drawing No. 38	Issue Y

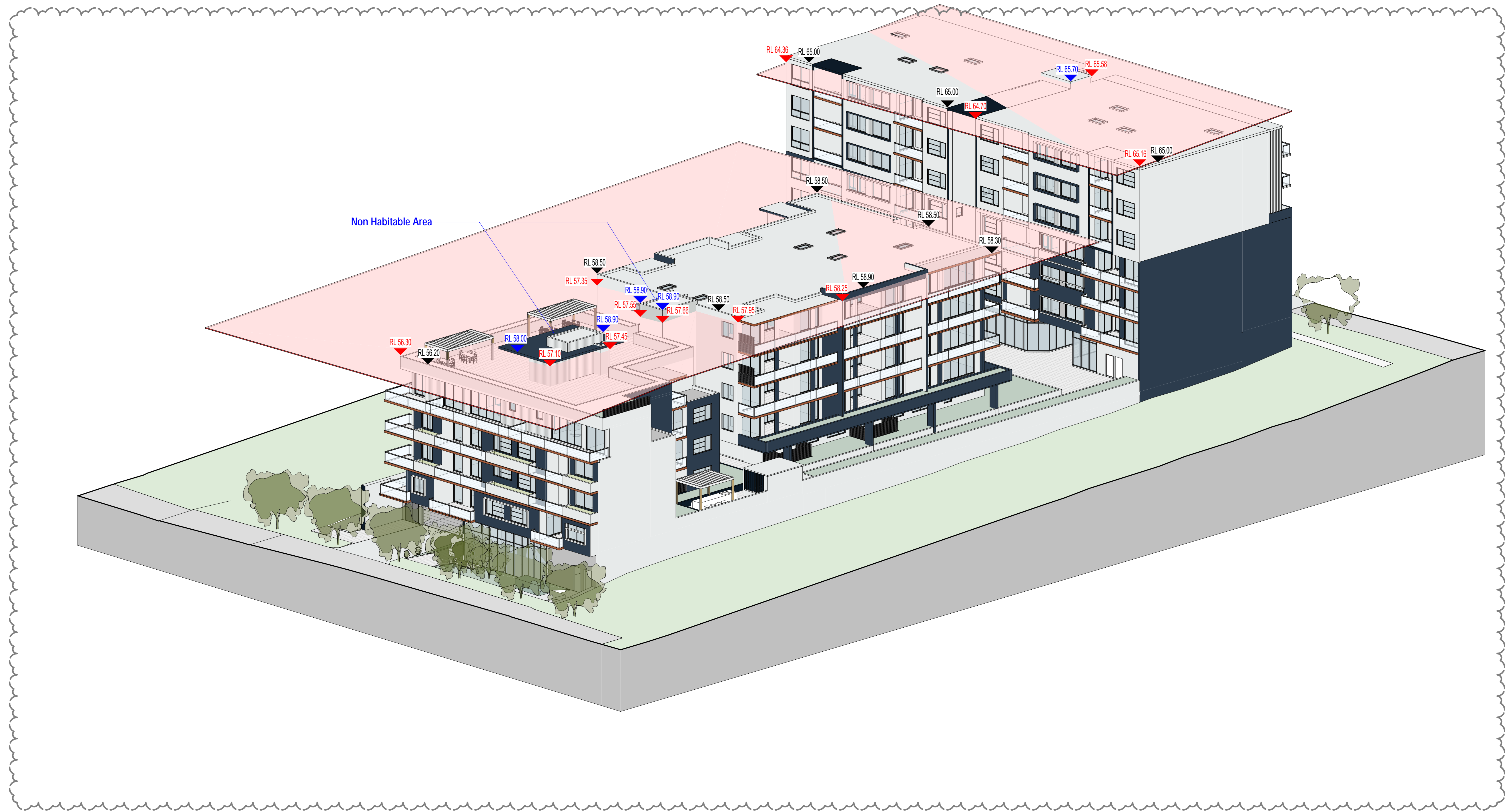
SECTION 4.55



1 Level 2 - Common Open Space Diagram 1 : 200



2 Level 6 - Common Open Space Diagram 1 : 200



1 Building Height Plane

Building Height Legend

RL #
▼ Building Height - Habitable Area
▼ Building Height - Non Habitable Area
▼ Building Height Plane/Line

LEGEND

17m & 23m Maximum building height Planes

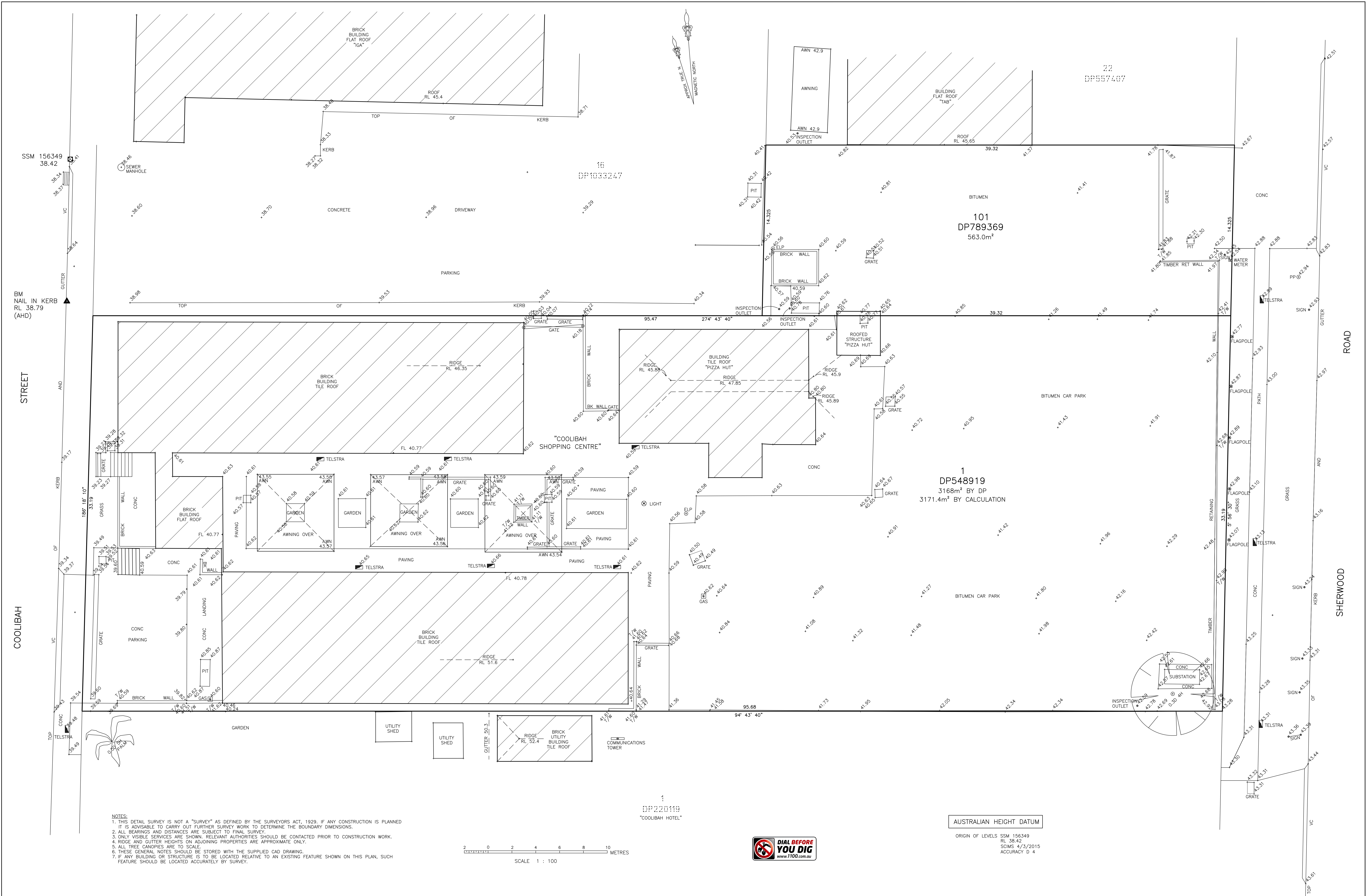
Issue	Issue description	Date
CC	Amendments to address Traffic Comments, Floor Levels Amended & Neighbouring building separation information added	16.02.21
BB	Amendments to address Traffic Comments	19.01.21


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Koyerton Pty Ltd t/as Architex
abn 32 003 315 142
Level 3, 7K Parkes Street
Parramatta NSW 2150
email@architex.com.au
www.architex.com.au

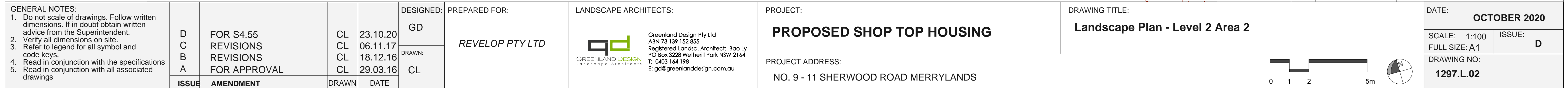
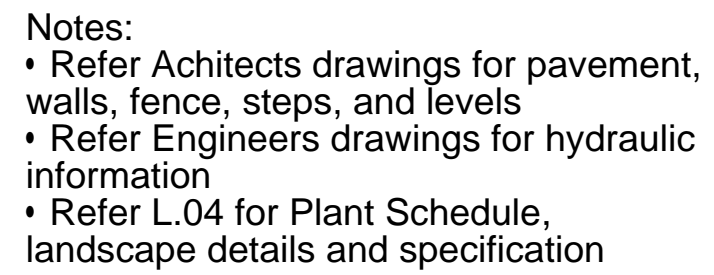
T : 9633 5888
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Project PROPOSED SHOP TOP HOUSING DEVELOPMENT		
Project Address 9 Sherwood Road, Merrylands		
Client .		
Title 3D Building Height Plane		
Drawn AS	Scale 1 : 100	Checked Checker
Job No 2220	Drawing No. 39	Issue CC

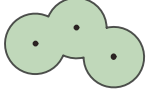
SECTION 4.55




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				CHECKED: BF			PROJECT: 9-11 SHERWOOD ROAD, MERRYLANDS WEST	DATE: 26/2/2015 & 3/3/2015
				SURVEYED: BF/MR/SL /CS/SH			DETAIL SURVEY	DRAWING No.: 215055
DATE	REVISION	BY						




LEGEND



Proposed shrub plantings



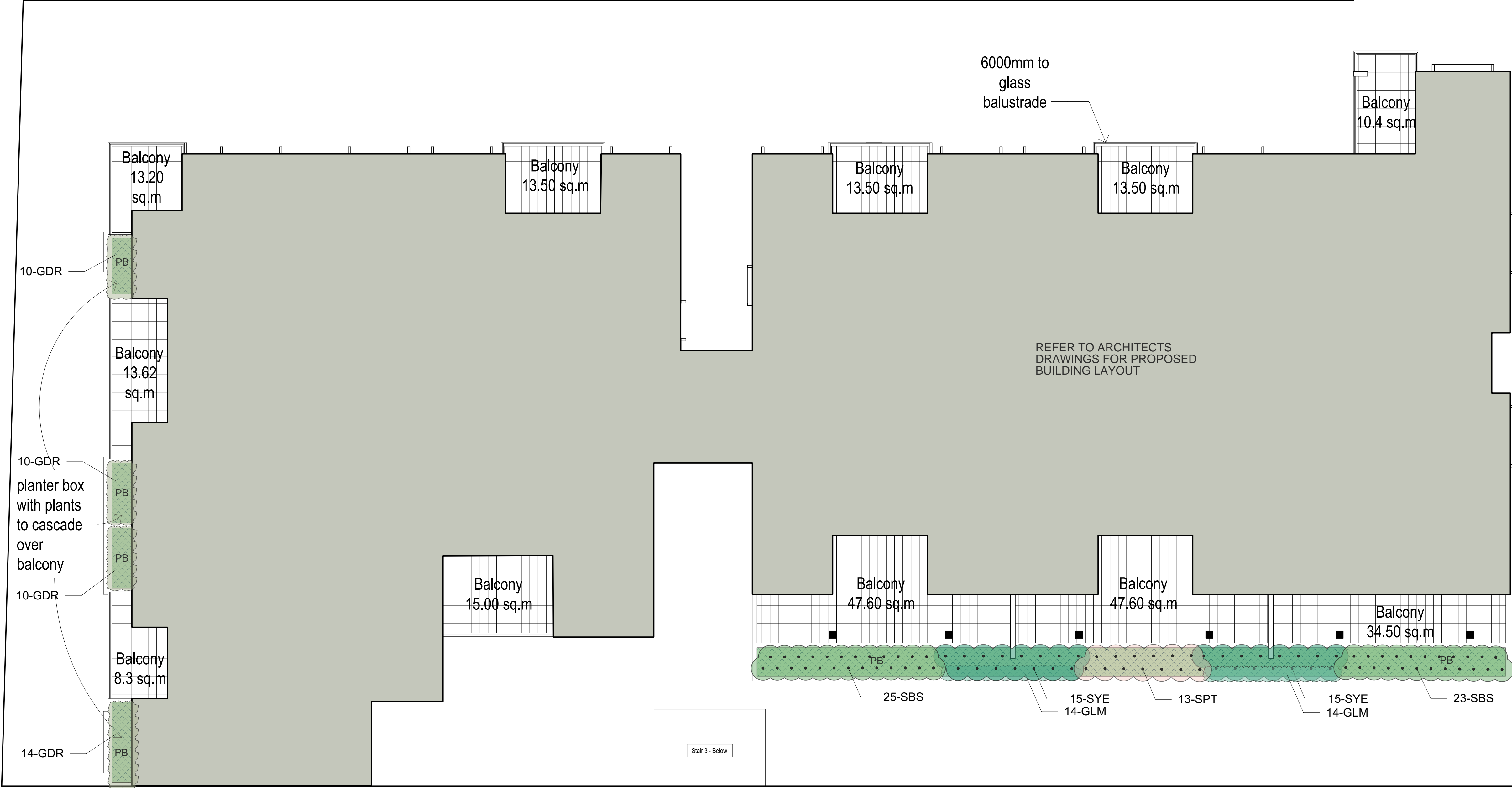
Proposed groundcover plantings



Proposed planter bed




Notes:

- Refer Achitects drawings for pavement, walls, fence, steps, and levels
- Refer Engineers drawings for hydraulic information
- Refer L.06 for Plant Schedule, landscape details and specification

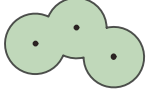


BLOCK A


BLOCK B

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D	FOR S4.55	CL	23.10.20	DRAWN: CL				PROJECT ADDRESS: NO. 9 - 11 SHERWOOD ROAD MERRYLANDS	 				SCALE: 1:100 FULL SIZE: A1		ISSUE: D	
C	REVISIONS	CL	06.11.17						DRAWING NO: 1297.L.03							
B	REVISIONS	CL	18.12.16													
A	FOR APPROVAL	CL	29.03.16													
ISSUE		AMENDMENT		DRAWN	DATE											


LEGEND



Proposed shrub plantings



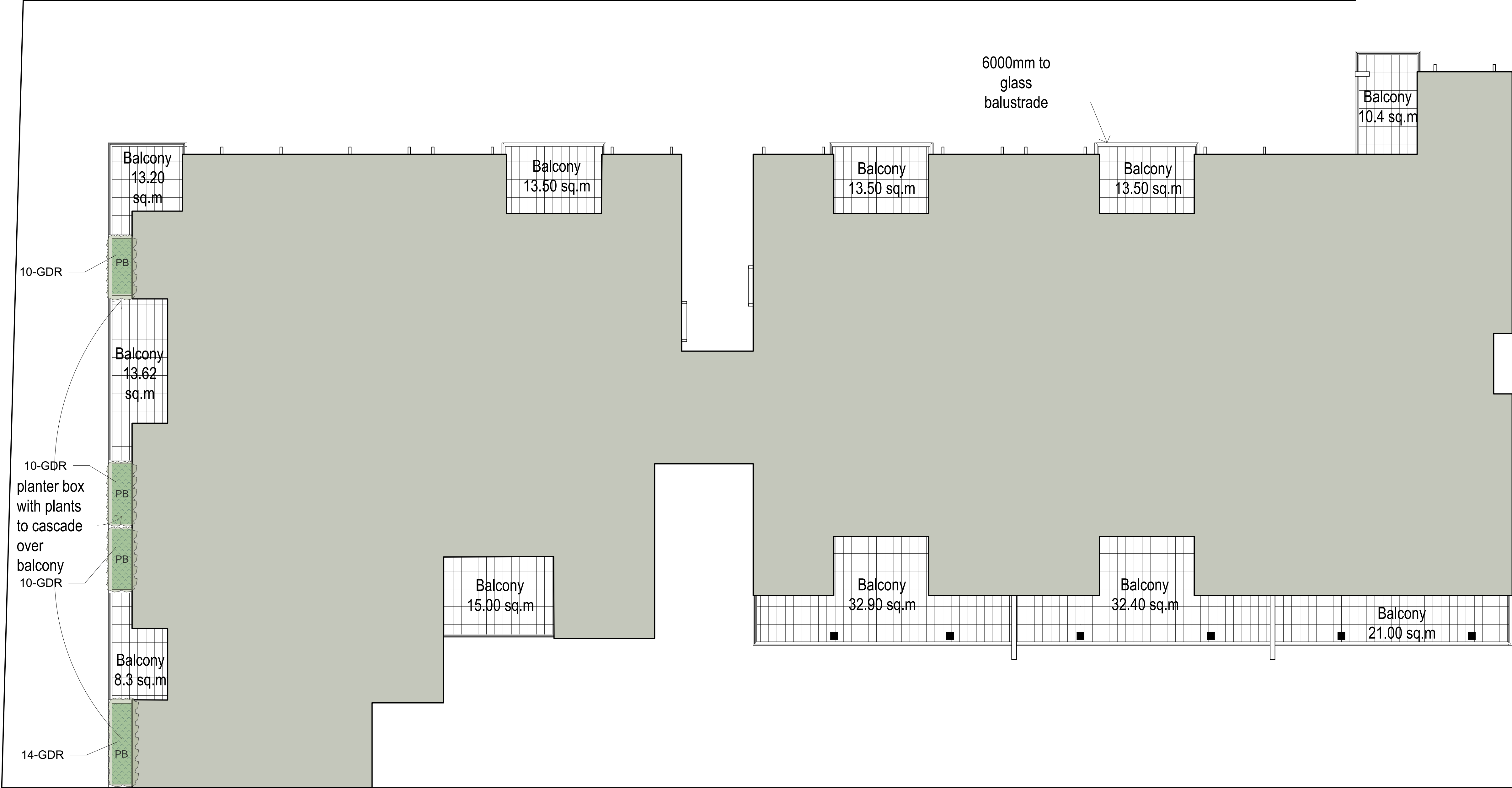
Proposed groundcover plantings



Proposed planter bed

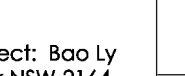

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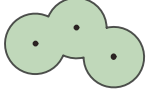


BLOCK A


BLOCK B

<div>GENERAL NOTES:</div> <div>1. Do not scale of drawings. Follow written dimensions. If in doubt obtain written advice from the Superintendent.</div> <div>2. Verify all dimensions on site.</div> <div>3. Refer to legend for all symbol and code keys.</div> <div>4. Read in conjunction with the specifications</div> <div>5. Read in conjunction with all associated drawings</div>				<div>D</div> <div>C</div> <div>B</div> <div>A</div> <div>FOR \$4.55</div> <div>REVISIONS</div> <div>REVISIONS</div> <div>FOR APPROVAL</div>		<div>CL</div> <div>23.10.20</div> <div>CL</div> <div>06.11.17</div> <div>CL</div> <div>18.12.16</div> <div>CL</div> <div>29.03.16</div>		<div>DESIGNED:</div> <div>GD</div> <div>DRAWN:</div> <div>CL</div>		<div>PREPARED FOR:</div> <div>REVELOP PTY LTD</div>		<div>LANDSCAPE ARCHITECTS:</div> <div><div></div><div>Greenland Design Pty Ltd ABN 73 139 152 855 Registered Landsc. Architect: Bao Ly PO Box 3228 Wetherill Park NSW 2164 T: 0403 164 198 E: gd@greenlanddesign.com.au</div></div>		<div>PROJECT:</div> <div>PROPOSED SHOP TOP HOUSING</div> <div>PROJECT ADDRESS:</div> <div>NO. 9 - 11 SHERWOOD ROAD MERRYLANDS</div>		<div>DRAWING TITLE:</div> <div>Landscape Plan - Level 4 Planters</div>		<div>DATE:</div> <div>OCTOBER 2020</div>			
																		<div>SCALE: 1:100</div> <div>FULL SIZE: A1</div>		<div>ISSUE:</div> <div>D</div>	
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LEGEND



Proposed shrub plantings



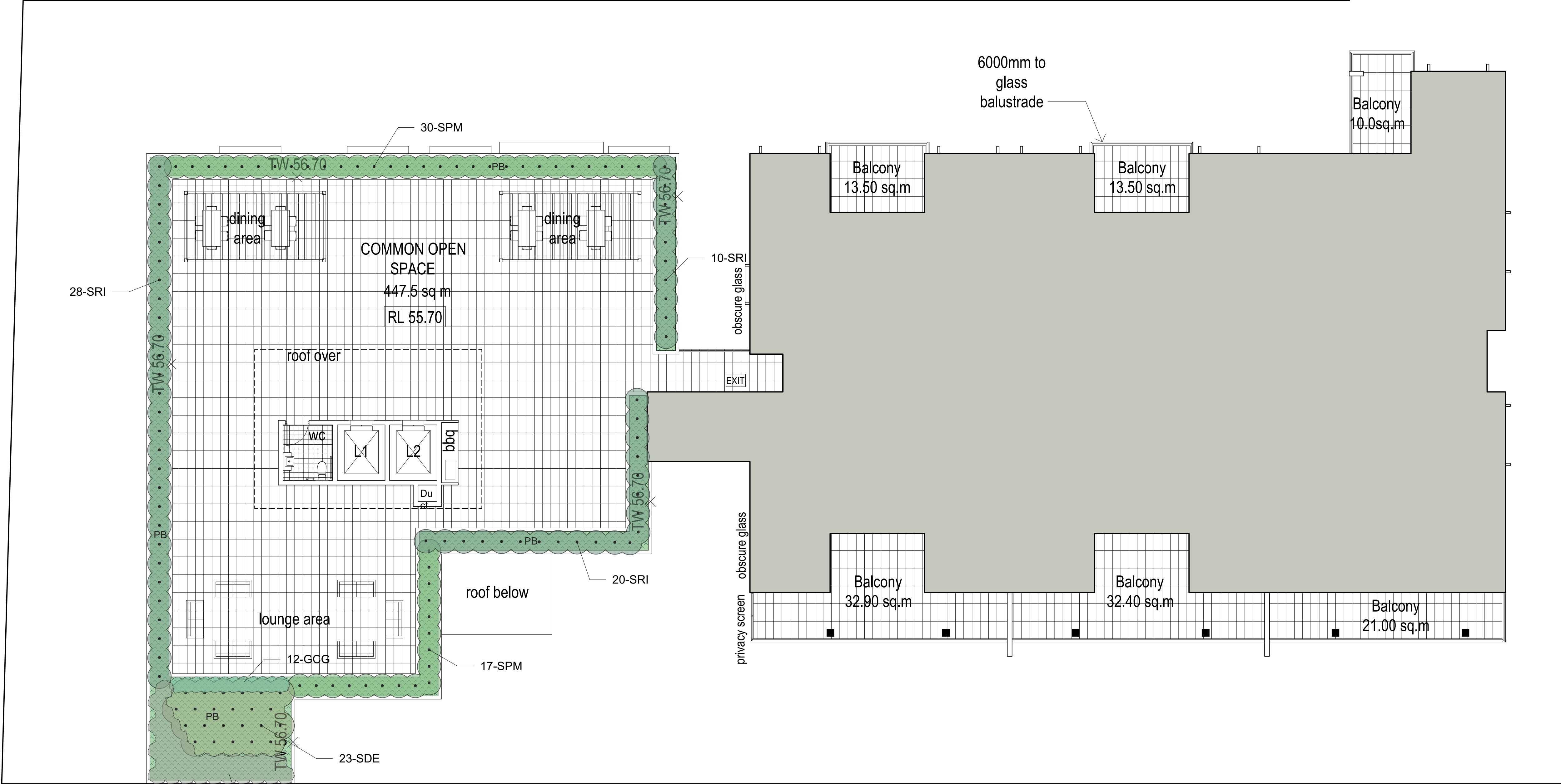
Proposed groundcover plantings



Proposed planter bed


Notes:

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- Refer Engineers drawings for hydraulic information
- Refer L.06 for Plant Schedule, landscape details and specification

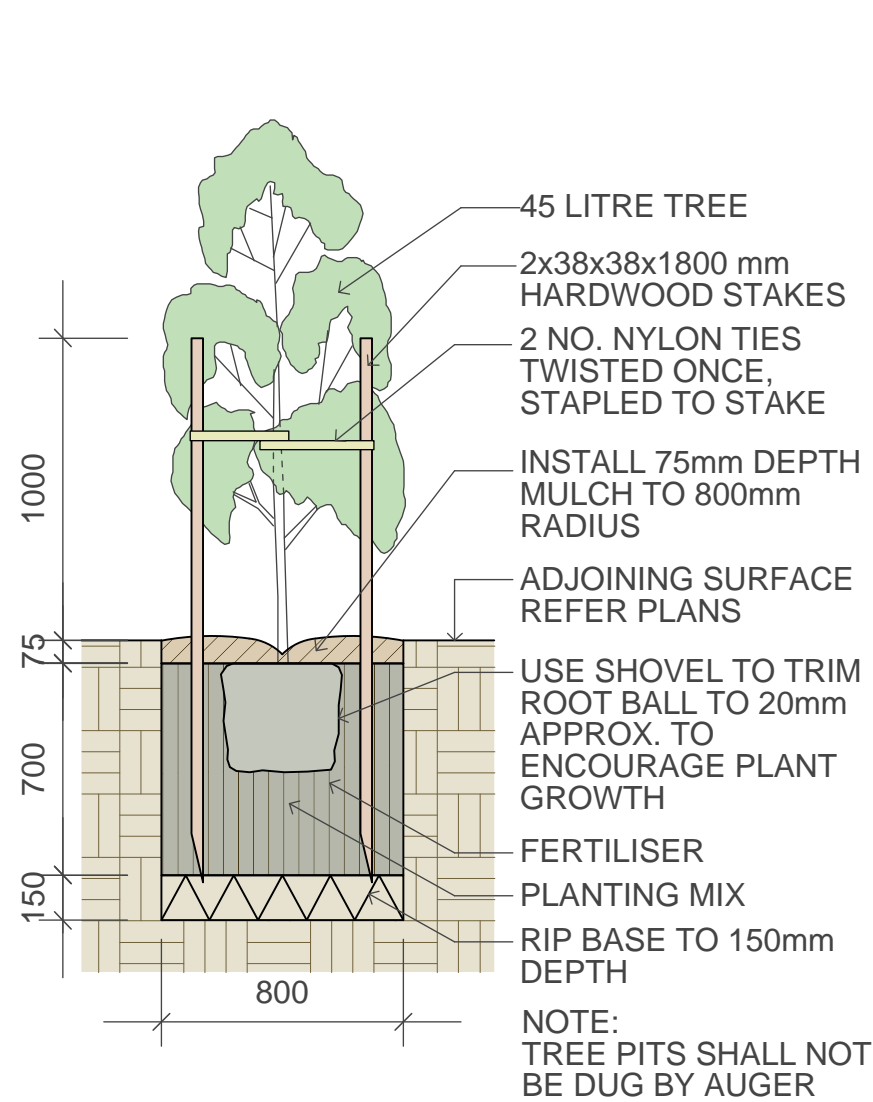


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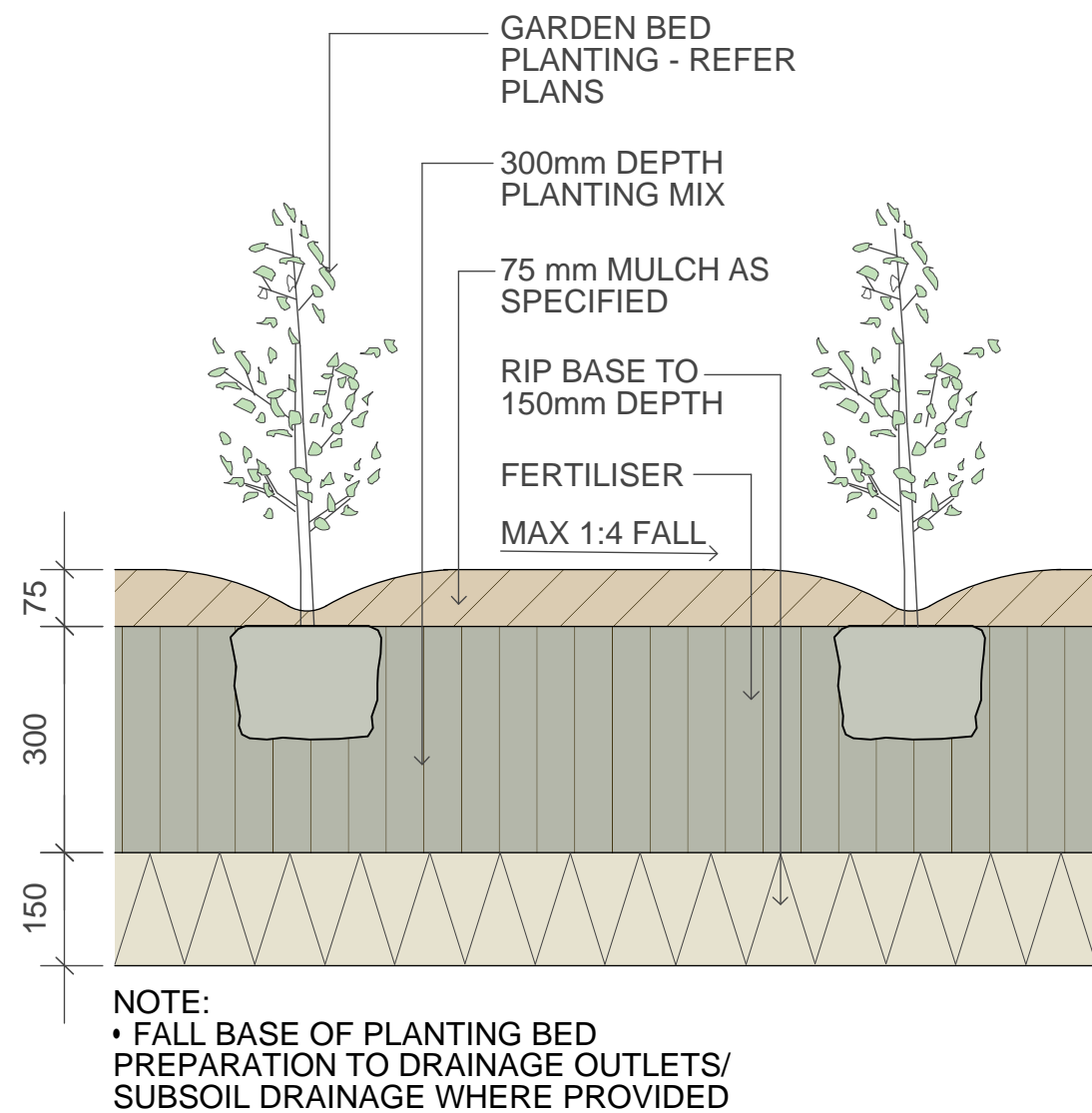
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D	C	FOR S4.55	CL	23.10.20	DRAWN: CL					
B		REVISIONS	CL	06.11.17						SCALE: 1:100
A		REVISIONS	CL	18.12.16						FULL SIZE: A1
		FOR APPROVAL	CL	29.03.16						ISSUE: D
ISSUE		AMENDMENT		DRAWN	DATE	DRAWING NO: 1297.L.05				

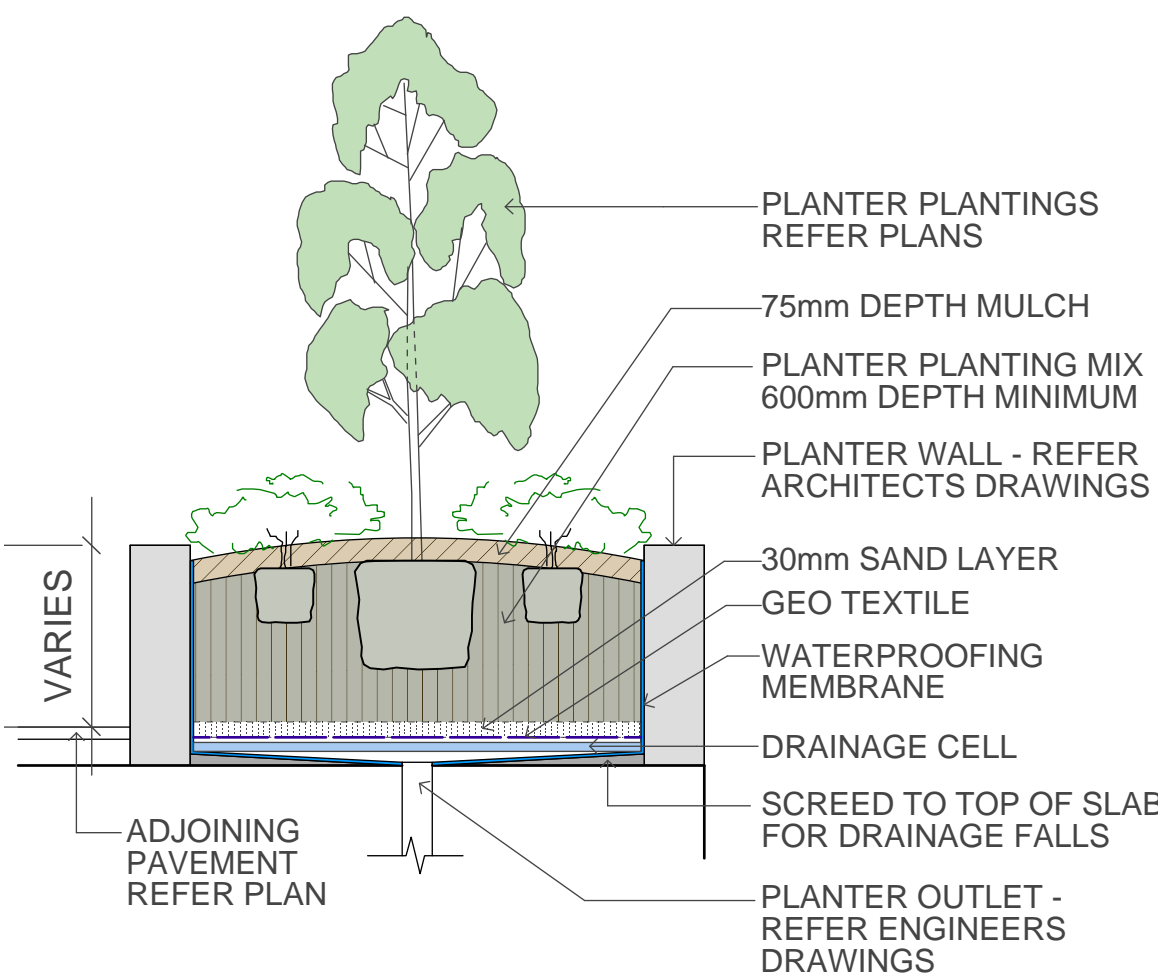




1 45 Litre Tree Planting
scale 1:25



2 Planting Bed Detail
scale 1:10



3 Planter Bed On Slab
scale 1:25

Plant Schedule					
ID	Qty	Common Name	Botanical Name	Size	Mature Height
Trees					
TER	1	Blueberry Ash	Elaeocarpus reticulatus	45Litre	6 - 8m
THF	3	Native Frangipani	Hymenosporum flavum	45Litre	8 - 12m
TMG	1	Little Gem Southern Magnolia	Magnolia grandiflora 'Little Gem'	45Litre	4 - 6m
TTL	10	Water Gum	Tristaniopsis laurina 'Luscious'	45Litre	6 - 8m
Shrubs					
SAA	3	Century Plant	Agave attenuata	200mm	0.75 - 0.9m
SAZA	66	Alba Magna	Azalea 'Alba Magna'	200mm	1.0 - 1.5m
SBS	136	Common Boxwood	Buxus sempervirens	200mm	1 - 1.5m
SBUM	6	Japanese Box	Buxus microphylla var japonica	200mm	0.6 - 0.8m
SCE	45	Evening Glow Mirror Plant	Coprosma 'Evening Glow'	200mm	0.9 - 1.5m
SCJ	40	Camellia	Camellia japonica	200mm	3 - 5m
SCS	7	Sasanqua Camellia	Camellia sasanqua	200mm	3 - 5m
SDE	74	Gymea Lily	Doranthus excelsa	200mm	1.2 - 2m
SDS	13	Duranta Gold	Duranta 'Sheenas Gold'	200mm	0.8 - 1.2m
SGF	39	Florida Gardenia	Gardenia augusta 'Florida'	200mm	0.8 - 1.0m
SMP	10	Orange Jessamine	Murraya paniculata	200mm	1.5 - 3m
SPM	47	Miss Muffet	Pittosporum tobira 'Miss Muffet'	200mm	0.8 - 1.0m
SPT	44	New Zealand Flax	Phormium tenax 'Flamin'	200mm	0.6 - 0.9m
SPX	69	Philodendron	Philodendron xanadu	200mm	0.6 - 0.8m
SRI	58	Indian Hawthorn	Rhaphiolepis indica 'Oriental Pearl'	200mm	0.9 - 1.5m
SRX	61	Broad Leaf Lady Palm	Rhapis excelsa	200mm	1.5m
SSR	92	Bird Of Paradise	Strelitzia reginae var juncea	200mm	0.9 - 1.5m
SSY	43	Cascade Lilly Pilly	Syzygium 'Cascade'	200mm	2 - 3m
SVO	34	Dense Form Viburnum	Viburnum odoratissimum 'Dense Form'	200mm	3 - 4m
SVB	25	Blue Gem	Vestringia 'Blue Gem'	200mm	0.8 - 1.0m
SYE	47	Spineless Yucca	Yucca elephantipes	200mm	2.0 - 3.0m
Ground Covers					
GCM	118	Bush Lily	Clivia miniata	150mm	0.45 - 0.6m
GHP	49	Licorice Plant	Helichrysum petiolare 'Limelight'	150mm	0.3 - 0.45m
GDR	88	Dichondra 'Silver Falls'	Dichondra repens 'Silver Falls'	150mm	0.0 - 0.3m
GCG	12	Pigface	Carpobrotus glaucescens	150mm	0.0 - 0.3m
GLT	96	Spiny-headed mat rush	Lomandra longifolia 'Tanika'	150mm	0.45 - 0.6m
GLM	186	Giant Lilly Turf	Liriope muscari 'Evergreen Giant'	150mm	0.0 - 0.3m
GDT	39	Flax Lily	Dianella tasmanica 'Tasred'	150mm	0.6 - 0.7m
GTA	59	Asian Jasmine	Trachelospermum asiaticum	150mm	n/a
GTJ	159	Star Jasmine	Trachelospermum jasminoides	150mm	0.3 - 0.6m
GTT	207	Tricolour Star Jasmine	Trachelospermum 'Tricolour'	150mm	0.3 - 0.6m
GYM	29	Carpet Spreading Myoporum	Myoporum parvifolium 'Yareena'	150mm	0.45 - 0.6m

SPECIFICATION NOTES

PLANTING MATERIALS

Planting Mix:

- Imported planting mix to planting beds is to comprise an approved soil mix of:
- 60% Soil mix (75% coarse sand and 25% blacksoil)
 - 10% Mushroom compost
 - 10% Composted sawdust
 - 10% Pine bark fines
 - 10% Composted manure

Planter Mix:

Planter mix shall be Peat and Planter Mix as supplied by Australian Native Landscape Pty Ltd (ph (02) 9450 1444 or approved equivalent.

Planter Drainage Cell:

Planter drainage cell shall be VersiCell as supplied by Elmich Australia Pty Ltd (ph (02) 9648 2073 or approved equivalent.

Mulch:

Mulch to planter bed:

Mulch shall mean hardwood mulch (25mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded hardwood mulch to be supplied by Australian Native Landscapes Pty Ltd Phone (02) 9450 1444, or approved equivalent.

Spread mulch so that after settling, it is:

- smooth and evenly graded between design surface levels;
- flush with adjacent finished levels;
- of the required depths (75mm); and
- sloped towards the base of plant stems in plantation beds, but not in contact with the stem (not closer than 50mm in the case of gravel mulches).

Place after the preparation of the planting bed, planting and all other work.

Plant Material:

All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound.

Tured areas:

All new turfed make good areas if required are to be selected weed free Soft Leaf Buffalo. Turf shall be laid neatly butted with staggered joins, flush with adjacent surfaces and have even running falls to all drainage points.

All new turfed area shall have a minimum 150mm depth of weed free top soil, placed and levelled prior to turfing.

Excavating for Spot Planting

To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

Staking

Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.

- 45 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie TIES: Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

MAINTENANCE / PLANT ESTABLISHMENT

Maintenance shall apply to all hard and soft landscape materials installed prior to the "handover" and acceptance by Principles Representative and the Site Superintendent. The maintenance period shall convenience at the granting of practical completion and shall extend for 26 weeks.

Maintenance shall consist of the following works:

- Follow a daily watering programme to be approved by Superintendent. Water all plants individually, twice per week or when necessary to ensure constant plant growth. Water all turf and native grassed areas, twice per week.
- Apply appropriate weed control sprays and hand weed as required to maintain planting areas, native grassing bed areas, turfed areas, paved areas, and tree pits in turf free of weed or rogue grass growth.
- Regularly tidy and top up mulch and trim edges to prevent spill over onto paved / grassed areas.
- Spray to control pests and diseases.
- Replace plants, which fail with plants of a similar size and quality as originally specified to approval of Superintendent. Costs of replacement shall be the responsibility of the Contractor. Replacement planting will be undertaken within 2 weeks of identification of dead material or instruction be the Superintendent.
- Report any incidence of plants stolen or destroyed by vandalism.
- Adjust stakes and ties to plants as necessary. Ensure that strangulation of plants does not occur.
- Prune and shape plants as directed or where necessary.
- Make good any defects or faults arising out of defective workmanship or materials.
- Fertilise lawn areas to maintain healthy growth.
- Make good any erosion or soil subsidence, which may occur including soft areas in pathways.
- Mow lawn to maintain neat healthy growth.
- A final inspection shall be made by the Superintendent before handover. Any items requiring rectification shall be repaired before the works are finally approved, and retention moneys released.

NOTE:

- All finished levels are to be verified by Contractor on site.
- All landscape works be in strict accordance with Council's landscape code and guidelines
- This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.

IRRIGATION SYSTEM AND REQUIREMENTS

DESCRIPTION OF WORKS

The scope of works in this section comprises the design and specification (for comment by Superintendent), supply, and installation of fully automated commercial drip irrigation system to all landscaped areas and to Councils requirements.

The general location and extent of the areas to be irrigated is as shown on plans and includes:

- Planter bed areas to be irrigated by "Techline" dripline at 750mm intervals, capable of delivering 20mm / week.
- Garden bed areas to be irrigated by "Techline" dripline at 750mm intervals, capable of delivering 20mm / week.
- Turfed areas to be irrigated by "Uniram" dripline at 500mm intervals, capable of delivering 30mm / week.

The Contractor shall provide shop drawings and materials and equipment specifications for comment by the Superintendent.

Notwithstanding comments on the irrigation design being provided by the Superintendent responsibility for the technical design, operation and adequacy of performance of the irrigation system will remain with the Contractor.

The irrigation works shall include all mechanical, hydraulic requirements to the performances required and includes but is not limited to the following:

- Design of dripline irrigation system and related hydraulic / electrical works for approval by the relevant authorities and for comment by the Superintendent.
- Attainment of all relevant authority approvals and inspections.
- Connection to water service
- Construction and testing of new irrigation pipework
- Instruction of operators.
- Maintenance of continuity of use, repair and/or replacement of utility services affected by the installation of the irrigation system.
- Excavation, shoring, dewatering and backfilling in all classes of material.
- Modification of existing structures commissioning of all works constructed under this project.
- All other works necessary for the required performance of the irrigation system.
- Excavation & backfill
- Maintenance period of 12 months.
- A minimum warranty period of 12 months for parts and labour on pumps, control system components and irrigation components.
- Visit site once a month during the warranty period to check the and monitor performance of the equipment and operators.

FEES PERMITS AND APPROVALS

The Contractor shall be responsible for securing all necessary inspections and approvals. Before commencement of any works on the site the Contractor shall obtain approval from the Superintendent for the works to proceed and submit the necessary notification forms to all authorities having jurisdiction. These shall include but are not limited to the following:

- | | |
|-----------------------------------|-------------------|
| Connection Fees & Inspection Fees | - Water Authority |
| Document Inspection Fees | - Water Authority |
| Service Connection Charges | - Water Authority |

The Contractor shall pay all fees, permits, royalties, deposits, and charges and shall produce documentary evidence to the Superintendent upon request.

EXISTING FACILITIES, UTILITIES AND SERVICES

The Contractor's attention is drawn to the existence of utility services within the works site. The Contractor shall be fully responsible for ascertaining exact locations and levels of services or consumer mains which may be encountered during the course of the works. The Contractor shall liaise and consult with services authorities as required during the course of the project.


Any damage to services or infrastructure facilities caused by any actions of the Contractor shall be repaired entirely to the satisfaction of the owner of such services and costs incurred shall be borne solely by the Contractor.

When a service must be interrupted to enable the carrying out of works under this contract such interruption shall be at a time agreed with the responsible authority or owner and the Superintendent. The Contractor shall organise and be responsible for all necessary notifications and approvals required.

Costs of relocation diversion, temporary removal and replacement of any service shall be borne by the Contractor.

DRIPLINE SYSTEM

Fully automated commercial grade "Techline" and "Uniram" dripline system or approved equivalent to be installed as per manufacturers specification and recommendations.

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